

ALTERATIONS AND ADDITIONS AT LOT 22 IN DP 758468
11 MONTAGUE ST, GOULBURN, NSW, 2580

DWG #	REV #	TITLE OF DRAWING
A-01	A	TITLE
A-02	A	SURVEY
A-03	A	EXISTING SITE PLAN
A-04	A	EXISTING GROUND FLOOR PLAN
A-05	A	EXISTING FIRST FLOOR PLAN
A-06	A	EXISTING ELEVATIONS
A-07	A	EXISTING ELEVATIONS
A-08	A	EXISTING ROOF PLAN
A-09	A	DEMOLITION GROUND FLOOR PLAN
A-10	A	DEMOLITION FIRST FLOOR PLAN
A-11	A	DEMOLITION ELEVATIONS
A-12	A	DEMOLITION ELEVATIONS

DWG #	REV #	TITLE OF DRAWING
A-13	A	DEMOLITION ROOF PLAN
A-14	A	PROPOSED SITE PLAN
A-15	A	PROPOSED GROUND FLOOR PLAN
A-16	A	PROPOSED FIRST FLOOR PLAN
A-17	A	PROPOSED ELEVATIONS
A-18	A	PROPOSED ELEVATIONS
A-19	A	PROPOSED ROOF PLAN
A-20	A	PROPOSED CARPORT PLAN
A-22	A	DETAIL WET AREA FLOOR PLAN & ELEVATIONS
A-23	A	DETAIL FIRE STAIR PLAN & DETAILS
A-24	A	SECTION A-A
A-25	A	SECTION B-B



ISSUED FOR
DEVELOPMENT APPLICATION
NOT FOR CONSTRUCTION

DRAWING AMENDMENTS			PROJECT TITLE	+L TIM LEE ARCHITECTS residential commercial industrial P: 02 4822 5934 ABN: 71425067537 ROSS PLACE GOULBURN NSW 2580 NOMINATED ARCHITECT: TIM LEE NSW REG: 7304 ACT REG: 1030	DRAWING TITLE	TITLE	DRAWING COMMENCED	DRAWING VERIFIED BY
REVISION	DESCRIPTION	DATE	CLIENT		LOT AND DEPOSITED PLAN NO.	LOT 22 DP758468	DRAWING SCALE	DRAWN BY
A	DEVELOPMENT APPLICATION	05/05/2025	DIANA KIRKPATRICK		STREET ADDRESS	11 MONTAGUE STREET, GOULBURN	AT SHEET SIZE	JOB NUMBER
			Figured dimensions take precedence. Do not scale drawings. Builder to check all levels datum and dimensions on the job, conflicting information to be resolved by the project manager prior to commencing work. All materials and workmanship to be in restrict accordance with current Australian standards, BCA, Local regulation and manufacturers current printed instructions. Unless noted otherwise use only best quality materials, fittings and fixtures. COPYRIGHT TIM LEE ARCHITECTS Drawings subject to copyright and may not be reproduced in any form without the written permission of the architect.				DRAWING IDENTIFICATION NUMBER	AMENDMENT ISSUE
							A-01	A



M. G. A. MERIDIAN



The plan has been prepared for Detail purposes for use in the matter.

NOT TO BE USED FOR BOUNDARY DEFINITION

PLAN SHOWING
DETAIL SITE SURVEY
OF LOT 22 IN
SECTION 6 OF
D.P.758468
11 MONTAGUE STREET
GOULBURN

REFERENCE: 40386

LGA:
GOULBURN MULWAREE

DATE: 30/08/2024

PLAN EDITION: A

PLAN NUMBER:
40386-A-2024-08-30-SD

SCALE: 1:200

SHEET: 1 OF 1

Origin of Level: SCIMS
PM 8828
RL: 637.087
Contour interval: 0.2m
Height Datum: AHD



SRD
LAND CONSULTING

GOULBURN: 4823 5100 | YOUNG: 6382 1501
THE LAND CONSULTANT SPECIALISTS
WWW.SRDLAND.COM.AU



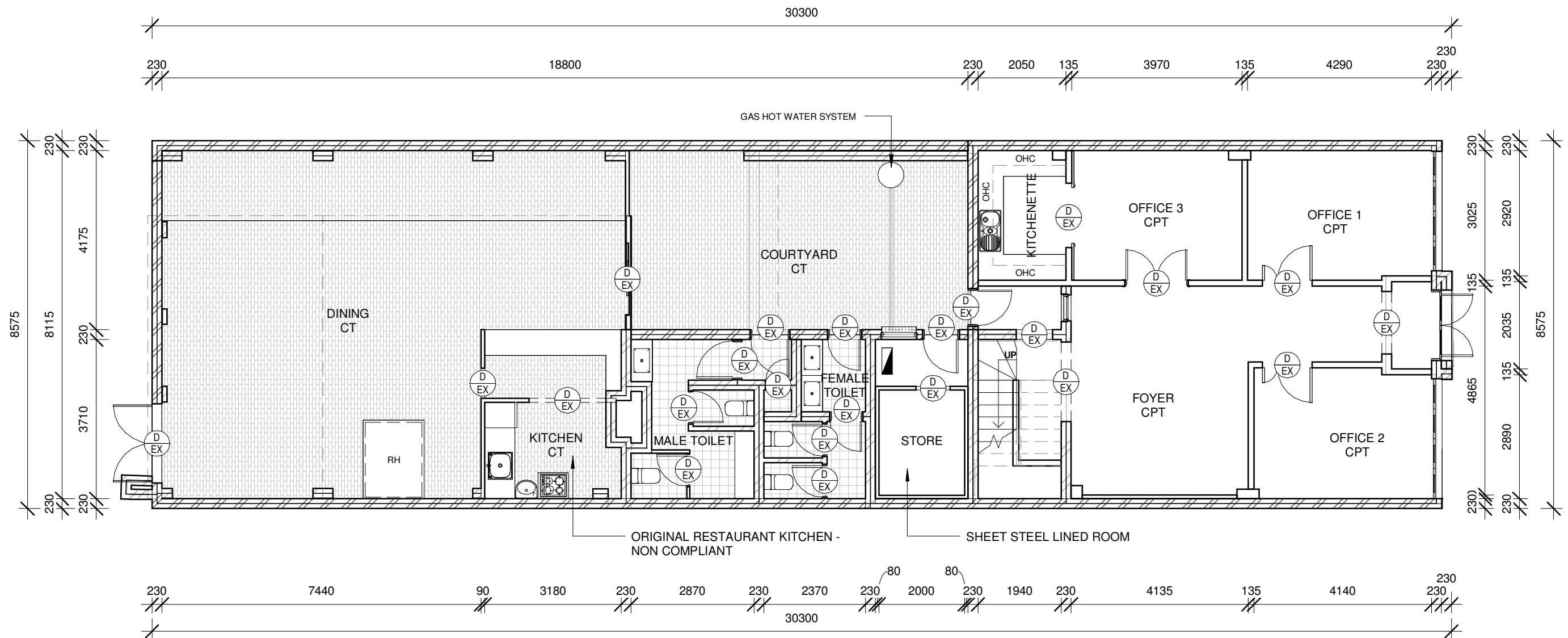


1 EXISTING SITE PLAN
1 : 200 @ A3



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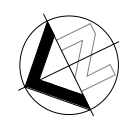
DRAWING AMENDMENTS			PROJECT TITLE	<div><div><div><div></div><div></div></div><div>TIM LEE ARCHITECTS</div><div>residential commercial industrial</div><div>P: 02 4822 5934</div><div>ABN: 71425067537</div><div>ROSS PLACE</div><div>GOULBURN NSW 2580</div><div>NOMINATED ARCHITECT: TIM LEE</div><div>NSW REG: 7304</div><div>ACT REG: 1030</div></div><div><div></div><div></div></div></div>	DRAWING TITLE	EXISTING SITE PLAN	DRAWING COMMENCED	DRAWING VERIFIED BY
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A	DEVELOPMENT APPLICATION	05/05/2025	DIANA KIRKPATRICK		LOT 22 DP758468	1 : 200	JT	
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					11 MONTAGUE STREET, GOULBURN	A3 SHEET	0724-1703	
						DRAWING IDENTIFICATION NUMBER	AMENDMENT ISSUE	
						A-03	A	



ENTRY	1.90 m ²
KITCHEN 1	6.20 m ²
FEMALE TOILET	7.13 m ²
STORE	8.01 m ²
MALE TOILET	10.32 m ²
OFFICE 3	12.01 m ²

KITCHEN 2	12.07 m ²
OFFICE 2	12.44 m ²
OFFICE 1	12.86 m ²
FOYER	25.63 m ²
COURTYARD	32.98 m ²
DINING AREA	74.45 m ²

1 EXISTING GROUND FLOOR PLAN
1 : 100 @ A3



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						A3 SHEET	0724-1703	
						DRAWING IDENTIFICATION NUMBER	AMENDMENT ISSUE	
						A-04	A	



ORIGINAL BELL TOWER - BELL REMOVED

ORIGINAL FACADE, RENDERED BRICKWORK

1990's BALCONY INFILL AND COURTYARD ROOFING

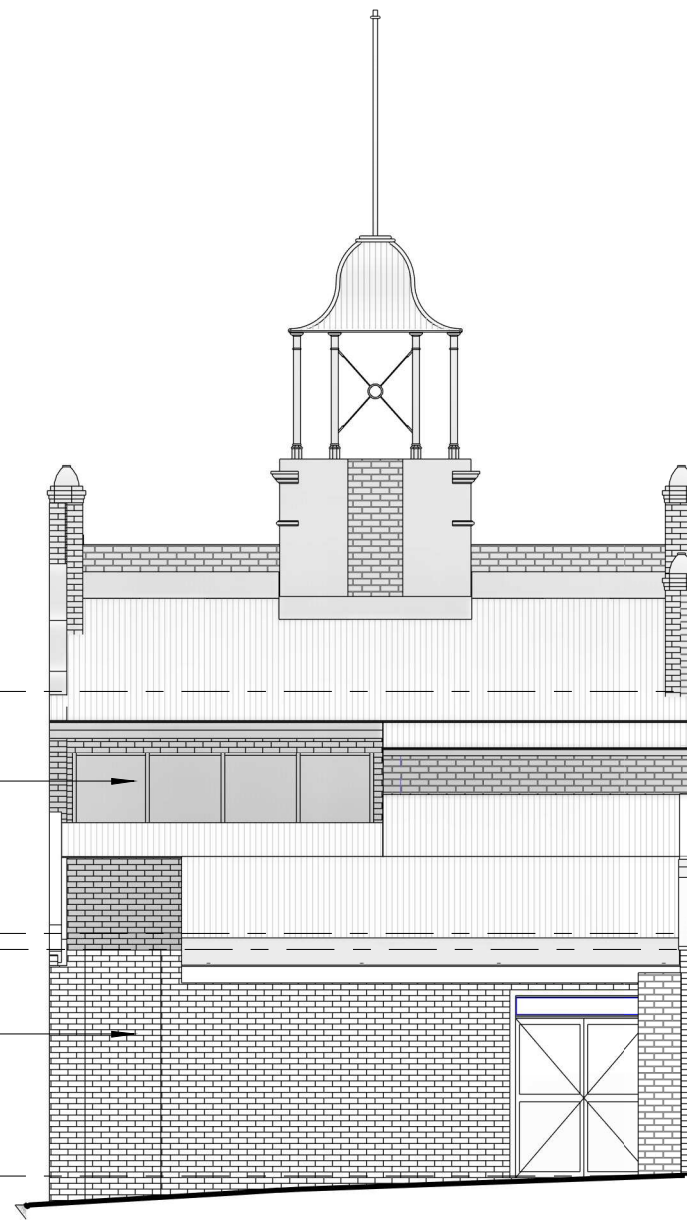
1980's MASONRY ADDITION

TIMBER HINGED DOORS, ORIGINAL HARDWARE INTACT

1

EXISTING NORTH ELEVATION

1 : 100 @ A3



FCL 2 645975

FEL 2 642775

FCL 1 642560

FEL 1 639560

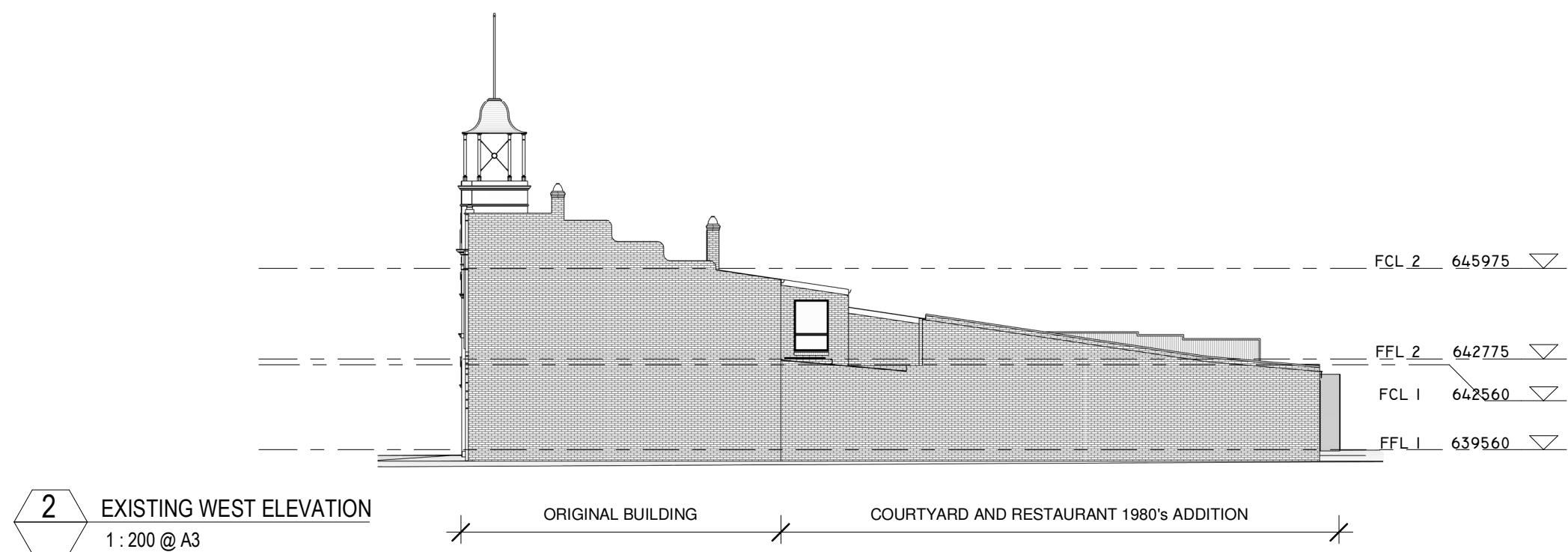
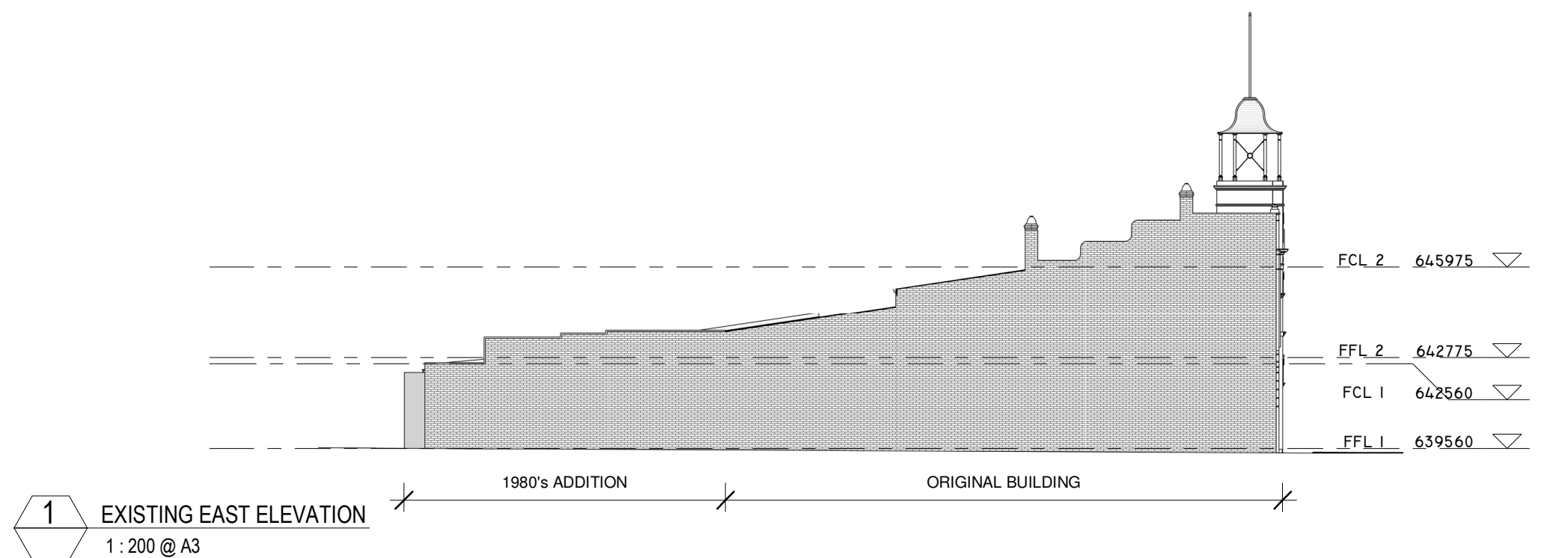
2

EXISTING SOUTH ELEVATION

1 : 100 @ A3

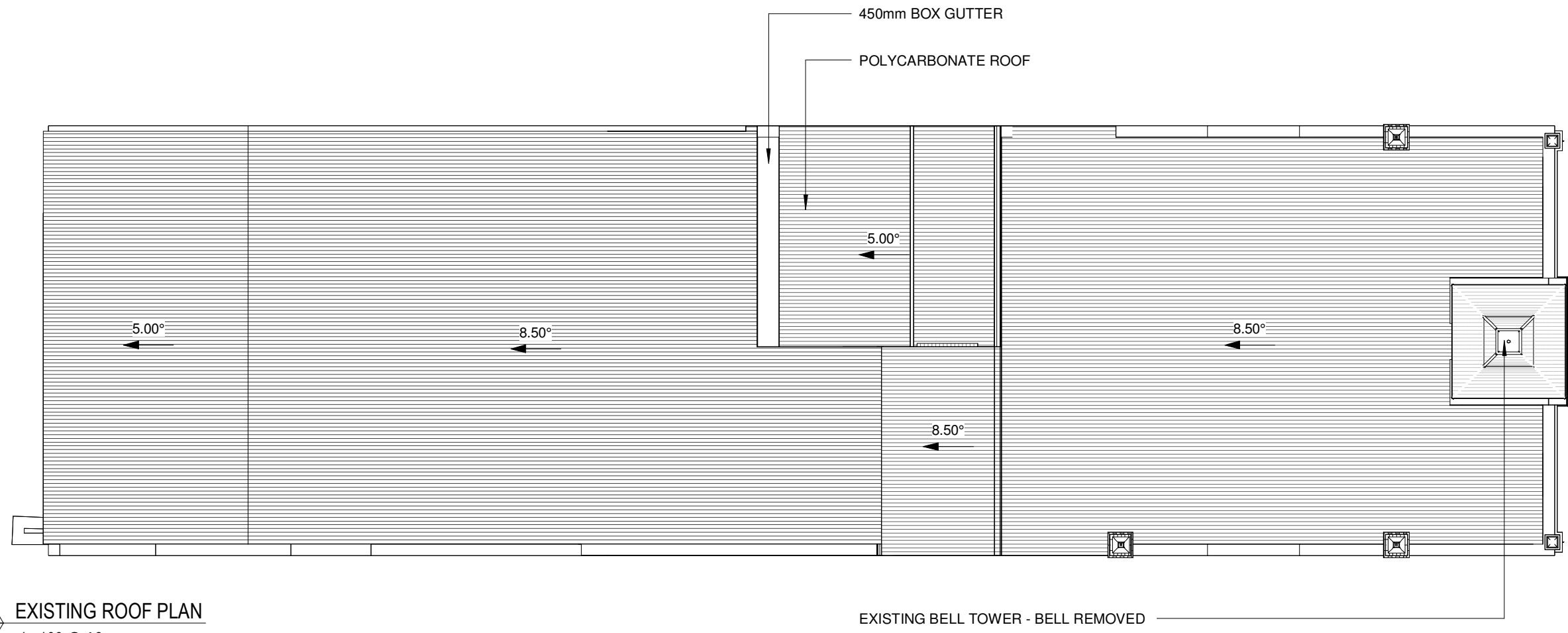
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							A3 SHEET	0724-1703	
							DRAWING IDENTIFICATION NUMBER	AMENDMENT ISSUE	
							A-06	A	



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						AT SHEET SIZE	JOB NUMBER
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						DRAWING IDENTIFICATION NUMBER	AMENDMENT ISSUE
						A-07	A

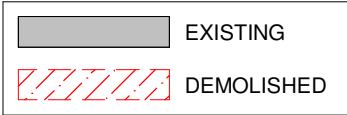


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SCABBLE EXISTING TILE BACK TO SLAB

CUT NEW OPENING AND PREPARE FOR NEW ACCESS GATE

DEMOISH EXISTING DOWNPIPE SURROUND COMPLETE

STRIP OUT EXISTING BENCH COMPLETE, RETAIN EXISTING RANGEHOOD OVER. DISCONNECT GRILL UNIT

STRIP OUT EXISTING TOILETS FOR NEW WORKS

- ALL FITTINGS
- FLOOR AND WALL TILES
- SALVAGE PRESSED METAL CEILINGS

REMOVE EXISITING HWS, CAP ANY REDUNDANT LINES, REFER TO NEW WORKS

STRIP SECOND EXISTING BRICK INFILL WALL BACK TO ORIGINAL SKIN. CARE TO BE TAKEN AROUND EXISTING BRICKWORK

PROP STRUCTURE TO ENGINEERS SPECIFICATION

STRIP AND SALVAGE EXISTING INTERNAL WINDOWS SHOWN HATCHED RED COMPLETE

STRIP OUT EXISTING STEEL CLAD WALLS AND LININGS

STRIP EXISTING FLOOR FINISH COMPLETE. CUT TRENCHES FOR NEW HYDRAULIC WORK

STRIP OUT EXISTING KITCHENETTE AND OVERHEAD CUPBOARDS

CUT NEW DOOR OPENING, 2100 HIGH, LINTEL OVER TO ENGINEERS SPECIFICATION

STRIP OUT EXISTING WALLS SHOWN HATCHED RED COMPLETE. CARE TO BE TAKEN AROUND EXISTING STRUCTURE. SHOULD UNSTABLE OR DAMAGED STRUCTURE BE EXPOSED STOP WORK IMMEDIATELY AND CONTACT ARCHITECT FOR INSTRUCTION

STRIP OUT CEILINGS BACK TO ORIGINAL STRUCTURE TO THE WHOLE OF GROUND FLOOR

STRIP OUT EXISTING PADDED WALL COVERINGS BACK TO ORIGINAL

1

DEMOLITION GROUND FLOOR PLAN

1 : 100 @ A3



ISSUED FOR
DEVELOPMENT APPLICATION
NOT FOR CONSTRUCTION

DRAWING AMENDMENTS

REVISION	DESCRIPTION	DATE
A	DEVELOPMENT APPLICATION	05/05/2025

PROJECT TITLE

ALTERATION AND ADDITION

CLIENT

DIANA KIRKPATRICK

Figured dimensions take precedence. Do not scale drawings.
Builder to check all levels datum and dimensions on the job, conflicting information to be resolved by the project manager prior to commencing work. All materials and workmanship to be in restrict accordance with current Australian standards, BCA, Local regulation and manufacturers current printed instructions. Unless noted otherwise use only best quality materials, fittings and fixtures.
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C

TIM LEE ARCHITECTS
residential commercial industrial

P: 02 4822 5934
ABN: 71425067537
ROSS PLACE
GOULBURN NSW
2580

NOMINATED ARCHITECT:
TIM LEE
NSW REG: 7304
ACT REG: 1030

DRAWING TITLE

DEMOLITION GROUND FLOOR PLAN

LOT AND DEPOSITED PLAN NO.

LOT 22 DP758468

STREET ADDRESS

11 MONTAGUE STREET, GOULBURN

DRAWING COMMENCED

OCT 24

DRAWING SCALE

1 : 100

AT SHEET SIZE

A3 SHEET

DRAWING IDENTIFICATION NUMBER

A-09

DRAWING VERIFIED BY

T.L.

DRAWN BY

JT

JOB NUMBER

0724-1703

AMENDMENT ISSUE

A

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DEMOLISHED

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INSPECT EXISTING BALCONY STRUCTURE AND NOTIFY ARCHITECT OF ANY LATENT CONDITIONS
STRIP OUT GLASS WALL SECTION TO UPPER LEVEL BALCONY COMPLETE
INSPECT EXISTING STEEL BEAM AND NOTIFY ARCHITECT

DEMOLISH EXISTING INFILL COURTYARD CLEAR ROOF SHEETING, BOX GUTTER AND STRUCTURE COMPLETE.

DEMOLISH EXISTING WALL SHOWN HATCHED RED COMPLETE. CARE TO BE TAKEN AROUND EXISTING STRUCTURE

DEMOLISH EXISTING DOOR SHOWN HATCHED RED COMPLETE

EXISTING DUCT TO REMAIN

STRIP OUT EXISTING KITCHEN AND CUPBOARDS COMPLETE, CAP SERVICES BEHIND FINISHED WALL FACE, CAP AND TAG FOR REUSE

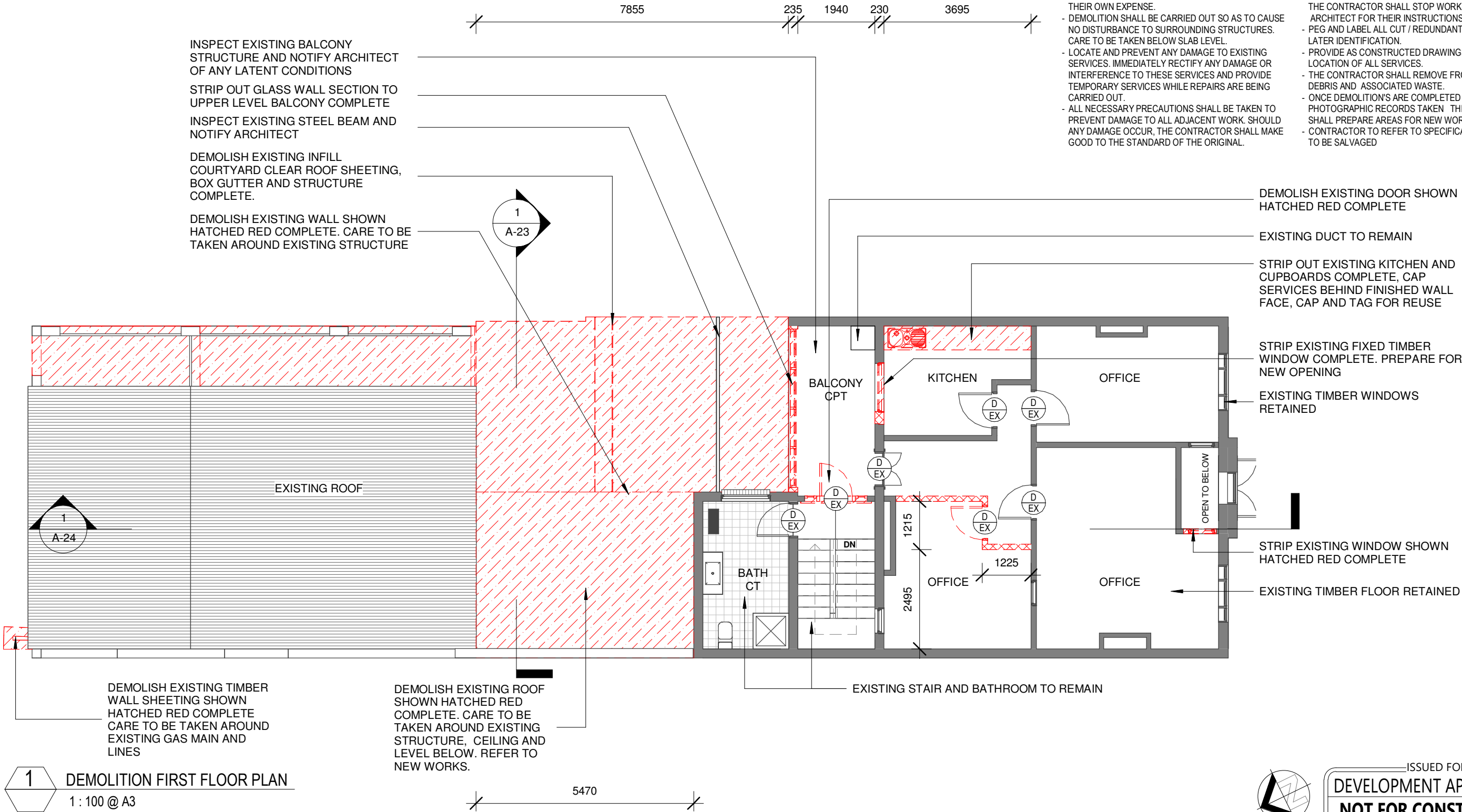
STRIP EXISTING FIXED TIMBER WINDOW COMPLETE. PREPARE FOR NEW OPENING

EXISTING TIMBER WINDOWS RETAINED

STRIP EXISTING WINDOW SHOWN HATCHED RED COMPLETE

EXISTING TIMBER FLOOR RETAINED

EXISTING STAIR AND BATHROOM TO REMAIN



1 DEMOLITION FIRST FLOOR PLAN
1 : 100 @ A3

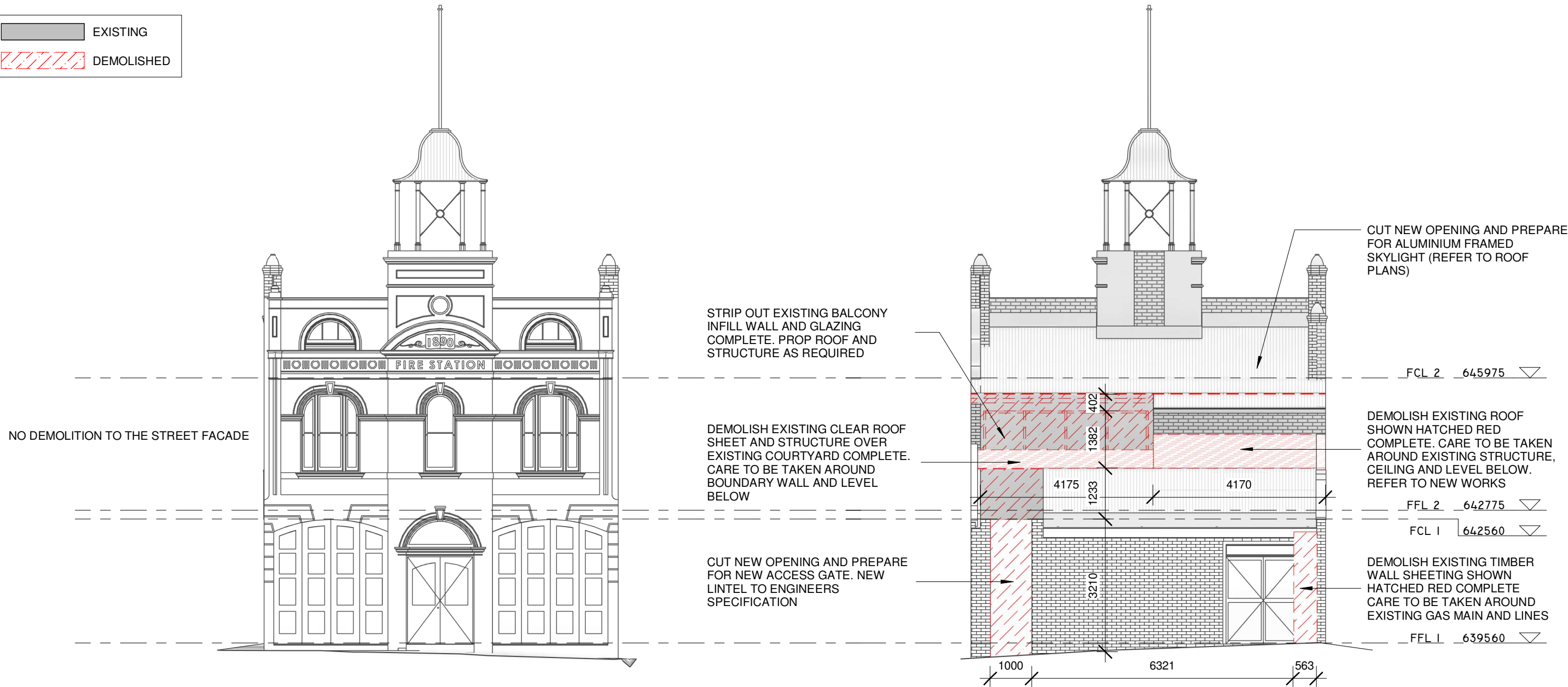
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DRAWING AMENDMENTS			PROJECT TITLE	<div><div><div></div><div></div></div><div>TIM LEE ARCHITECTS</div><div>residential commercial industrial</div><div>P: 02 4822 5934</div><div>ABN: 71425067537</div><div>ROSS PLACE</div><div>GOULBURN NSW 2580</div><div>NOMINATED ARCHITECT:</div><div>TIM LEE</div><div>NSW REG: 7304</div><div>ACT REG: 1030</div></div>	DRAWING TITLE	DRAWING COMMENCED	DRAWING VERIFIED BY
REVISION A	DESCRIPTION DEVELOPMENT APPLICATION	DATE 05/05/2025	ALTERATION AND ADDITION		DEMOLITION FIRST FLOOR PLAN	OCT 24	T.L.
			CLIENT		LOT AND DEPOSITED PLAN NO.	DRAWING SCALE	DRAWN BY
			DIANA KIRKPATRICK		LOT 22 DP758468	1 : 100	JT
			Figured dimensions take precedence. Do not scale drawings. Builder to check all levels datum and dimensions on the job, conflicting information to be resolved by the project manager prior to commencing work. All materials and workmanship to be in restrict accordance with current Australian standards, BCA, Local regulation and manufacturers current printed instructions. Unless noted otherwise use only best quality materials, fittings and fixtures. COPYRIGHT TIM LEE ARCHITECTS Drawings subject to copyright and may not be reproduced in any form without the written permission of the architect.		STREET ADDRESS	AT SHEET SIZE	JOB NUMBER
					11 MONTAGUE STREET, GOULBURN	A3 SHEET	0724-1703
						DRAWING IDENTIFICATION NUMBER	AMENDMENT ISSUE
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EXISTING
DEMOLISHED



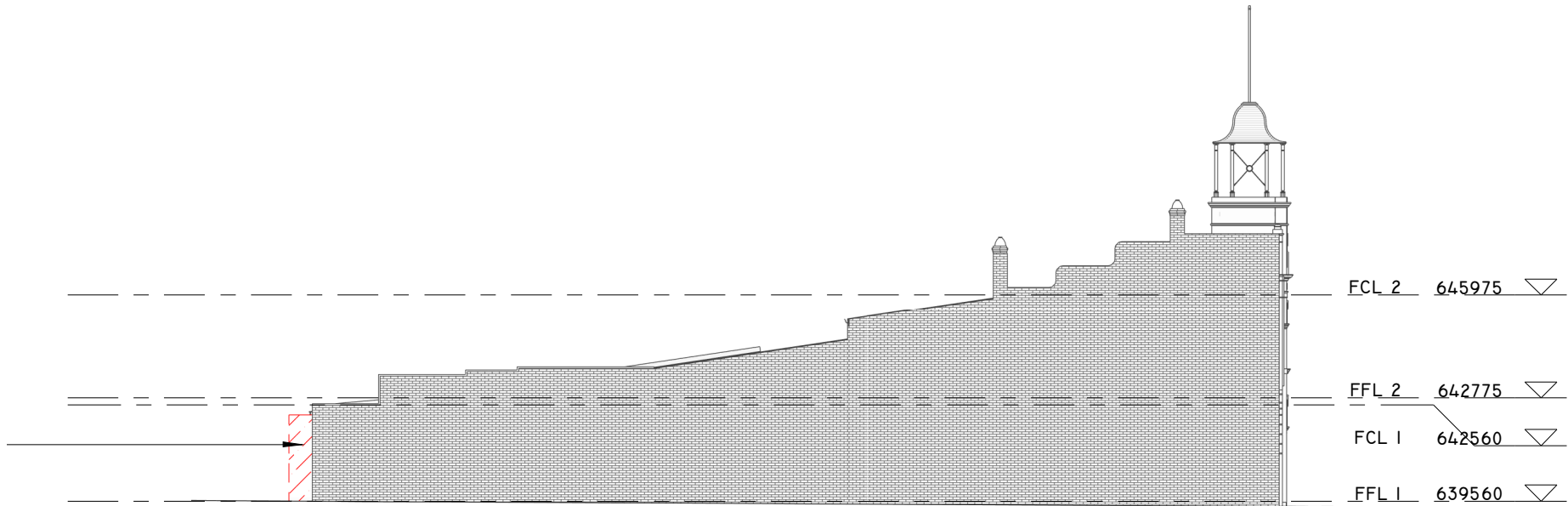
1 DEMOLITION NORTH ELEVATION
1 : 100 @ A3

2 DEMOLITION SOUTH ELEVATION
1 : 100 @ A3

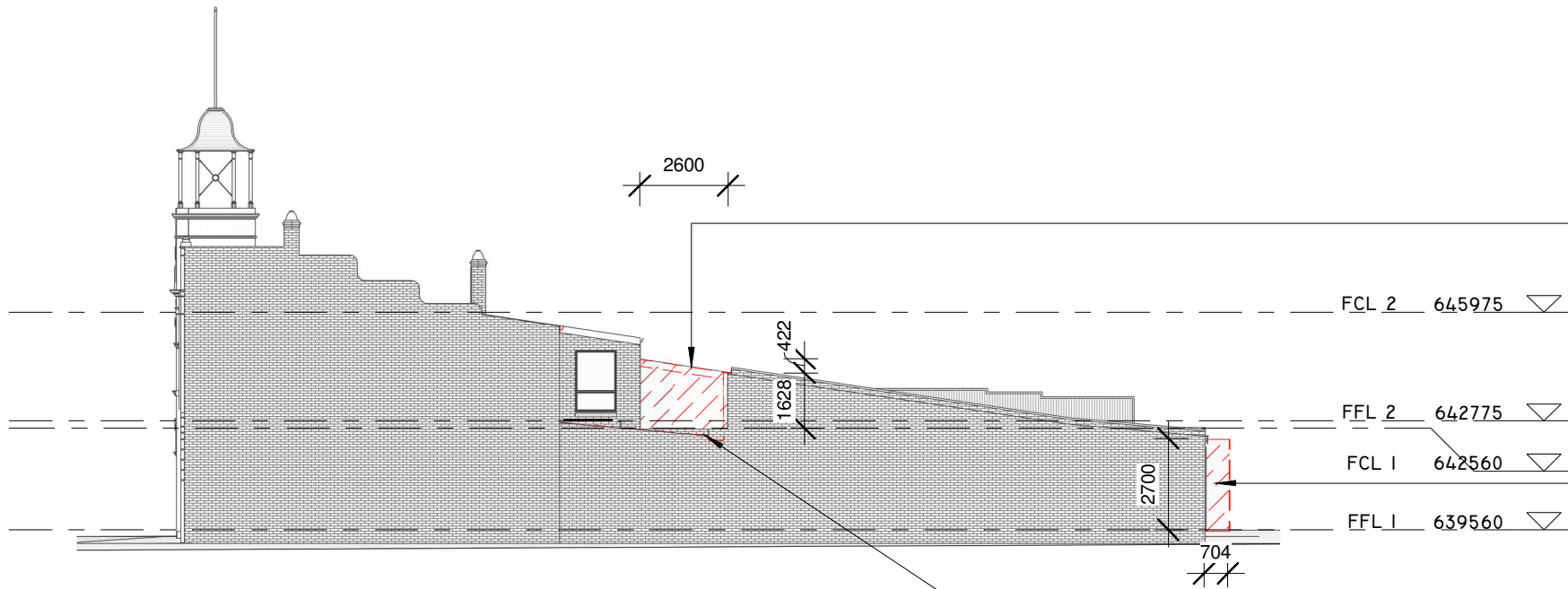
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REVISION	DESCRIPTION	DATE	CLIENT		LOT AND DEPOSITED PLAN NO.		OCT 24	T.L.
A	DEVELOPMENT APPLICATION	05/05/2025	DIANA KIRKPATRICK			LOT 22 DP758468	DRAWING SCALE	
			<div>Figured dimensions take precedence. Do not scale drawings. Builder to check all levels datum and dimensions on the job, conflicting information to be resolved by the project manager prior to commencing work. All materials and workmanship to be in restrict accordance with current Australian standards, BCA, Local regulation and manufacturers current printed instructions. Unless noted otherwise use only best quality materials, fittings and fixtures. COPYRIGHT TIM LEE ARCHITECTS Drawings subject to copyright and may not be reproduced in any form without the written permission of the architect.</div> <div>C</div>				1 : 100	JT
							AT SHEET SIZE	JOB NUMBER
							A3 SHEET	0724-1703
							DRAWING IDENTIFICATION NUMBER	AMENDMENT ISSUE
					STREET ADDRESS	11 MONTAGUE STREET , GOULBURN	A-11	A

DEMOLISH EXISTING TIMBER WALL
SHEETING SHOWN HATCHED RED
COMPLETE
CARE TO BE TAKEN AROUND EXISTING
GAS MAIN AND LINES



1 DEMOLITION EAST ELEVATION
1 : 200 @ A3



DEMOLISH EXISTING ROOF AND INFILL WALL
SECTION SHOWN HATCHED RED COMPLETE.
CARE TO BE TAKEN AROUND EXISTING
STRUCTURE, CEILING AND LEVEL BELOW. REFER
TO NEW WORKS.

DEMOLISH EXISTING TIMBER WALL SHEETING
SHOWN HATCHED RED COMPLETE
CARE TO BE TAKEN AROUND EXISTING GAS MAIN
AND LINES

DEMOLISH EXISTING INFILL COURTYARD
CLEAR ROOF SHEETING, BOX GUTTER AND
STRUCTURE COMPLETE.

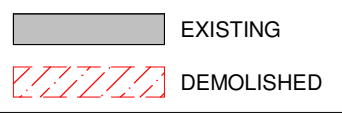
2 DEMOLITION WEST ELEVATION
1 : 200 @ A3

ISSUED FOR
DEVELOPMENT APPLICATION
NOT FOR CONSTRUCTION

DRAWING AMENDMENTS			PROJECT TITLE	+L TIM LEE ARCHITECTS residential commercial industrial P: 02 4822 5934 ABN: 71425067537 ROSS PLACE GOULBURN NSW 2580 NOMINATED ARCHITECT: TIM LEE NSW REG: 7304 ACT REG: 1030	DRAWING TITLE	DRAWING COMMENCED	DRAWING VERIFIED BY
REVISION	DESCRIPTION	DATE	ALTERATION AND ADDITION		DEMOLITION ELEVATIONS	OCT 24	T.L.
A	DEVELOPMENT APPLICATION	05/05/2025	CLIENT		LOT AND DEPOSITED PLAN NO.	DRAWING SCALE	DRAWN BY
			DIANA KIRKPATRICK		LOT 22 DP758468	1 : 200	JT
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						A3 SHEET	0724-1703
						DRAWING IDENTIFICATION NUMBER	AMENDMENT ISSUE
					STREET ADDRESS	A-12	A
					11 MONTAGUE STREET, GOULBURN		

DEMOLITION:

- ANY DAMAGE RESULTING FROM THE WORKS MUST BE IMMEDIATELY RECTIFIED BY THE CONTRACTOR AT THEIR OWN EXPENSE.
- DEMOLITION SHALL BE CARRIED OUT SO AS TO CAUSE NO DISTURBANCE TO SURROUNDING STRUCTURES. CARE TO BE TAKEN BELOW SLAB LEVEL.
- LOCATE AND PREVENT ANY DAMAGE TO EXISTING SERVICES. IMMEDIATELY RECTIFY ANY DAMAGE OR INTERFERENCE TO THESE SERVICES AND PROVIDE TEMPORARY SERVICES WHILE REPAIRS ARE BEING CARRIED OUT.
- ALL NECESSARY PRECAUTIONS SHALL BE TAKEN TO PREVENT DAMAGE TO ALL ADJACENT WORK. SHOULD ANY DAMAGE OCCUR, THE CONTRACTOR SHALL MAKE GOOD TO THE STANDARD OF THE ORIGINAL.
- IF AND WHEN OPENING UP ANY WORK, ANY CONDITIONS ARE FOUND TO BE UNSOUND OR UNSAFE THE CONTRACTOR SHALL STOP WORK AND NOTIFY THE ARCHITECT FOR THEIR INSTRUCTIONS.
- PEG AND LABEL ALL CUT / REDUNDANT SERVICES FOR LATER IDENTIFICATION.
- PROVIDE AS CONSTRUCTED DRAWINGS INDICATING LOCATION OF ALL SERVICES.
- THE CONTRACTOR SHALL REMOVE FROM SITE ALL DEBRIS AND ASSOCIATED WASTE.
- ONCE DEMOLITION'S ARE COMPLETED AND PHOTOGRAPHIC RECORDS TAKEN THE CONTRACTOR SHALL PREPARE AREAS FOR NEW WORK.
- CONTRACTOR TO REFER TO SPECIFICATION FOR ITEMS TO BE SALVAGED



STRIP EXISTING ROOF SHEETING SHOWN HATCHED RED COMPLETE. CARE TO BE TAKEN AROUND EXISTING STRUCTURE AND WALL TO REMAIN

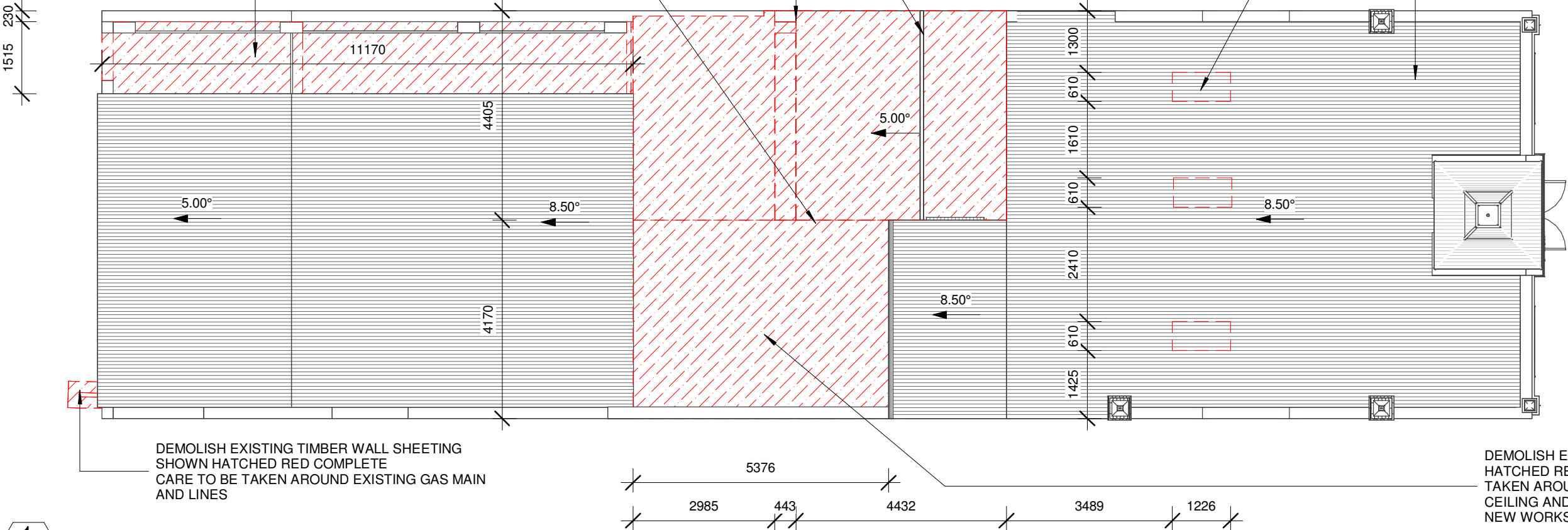
INSPECT EXISTING STEEL BEAM AND NOTIFY ARCHITECT

DEMOLISH EXISTING INFILL COURTYARD CLEAR ROOF SHEETING, BOX GUTTER AND STRUCTURE COMPLETE.

DEMOLISH EXISTING WALL SHOWN HATCHED RED COMPLETE. CARE TO BE TAKEN AROUND EXISTING STRUCTURE

CUT NEW OPENING IN ROOF AND PREPARE FOR NEW ALUMIUM FRAMED SKYLIGHTS

REMOVE REVERSE CYCLE A/C CONDENSER UNIT

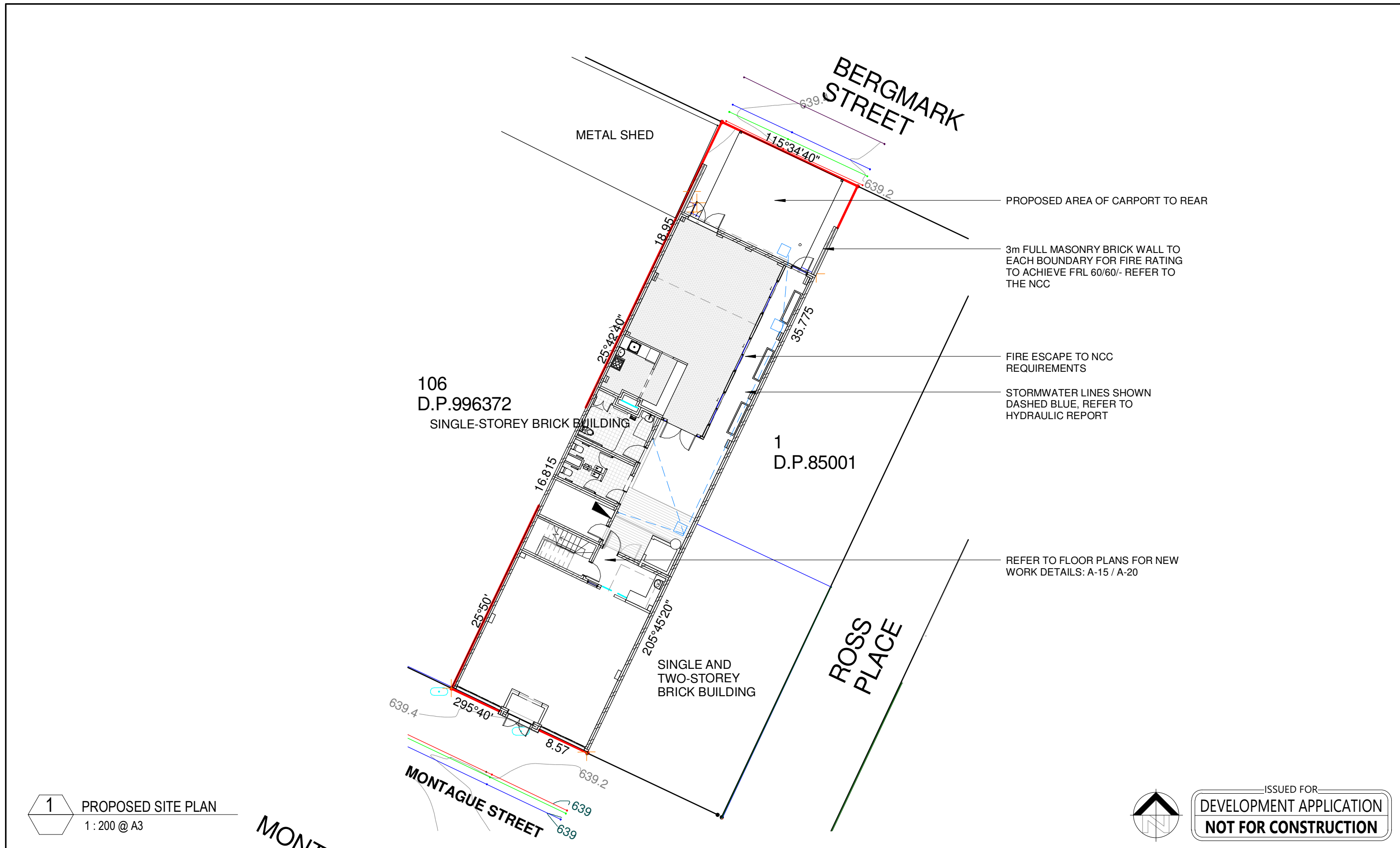


1 DEMOLITION ROOF PLAN
1 : 100 @ A3

DEMOLISH EXISTING ROOF SHOWN HATCHED RED COMPLETE. CARE TO BE TAKEN AROUND EXISTING STRUCTURE, CEILING AND LEVEL BELOW. REFER TO NEW WORKS.

ISSUED FOR
DEVELOPMENT APPLICATION
NOT FOR CONSTRUCTION

DRAWING AMENDMENTS			PROJECT TITLE	<div><div><div></div><div></div></div><div>TIM LEE ARCHITECTS</div><div>residential commercial industrial</div></div> <div>P: 02 4822 5934 ABN: 71425067537 ROSS PLACE GOULBURN NSW 2580</div> <div>NOMINATED ARCHITECT: TIM LEE NSW REG: 7304 ACT REG: 1030</div>	DRAWING TITLE	DEMOLITION ROOF PLAN		DRAWING COMMENCED	DRAWING VERIFIED BY
REVISION	DESCRIPTION	DATE	CLIENT		LOT AND DEPOSITED PLAN NO.	LOT 22 DP758468		OCT 24	T.L.
A	DEVELOPMENT APPLICATION	05/05/2025	DIANA KIRKPATRICK				1 : 100		JT
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					STREET ADDRESS	11 MONTAGUE STREET, GOULBURN		DRAWING IDENTIFICATION NUMBER	AMENDMENT ISSUE
							A-13	A	



1 PROPOSED SITE PLAN
1 : 200 @ A3



ISSUED FOR
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DRAWING AMENDMENTS			PROJECT TITLE	ALTERATION AND ADDITION	<div><div><div></div><div></div></div><div>TIM LEE ARCHITECTS</div><div>residential commercial industrial</div><div>P: 02 4822 5934</div><div>ABN: 71425067537</div><div>ROSS PLACE</div><div>GOULBURN NSW 2580</div><div>NOMINATED ARCHITECT:</div><div>TIM LEE</div><div>NSW REG: 7304</div><div>ACT REG: 1030</div></div>	DRAWING TITLE	PROPOSED SITE PLAN	DRAWING COMMENCED	DRAWING VERIFIED BY
REVISION A	DESCRIPTION DEVELOPMENT APPLICATION	DATE 05/05/2025	CLIENT	DIANA KIRKPATRICK		LOT AND DEPOSITED PLAN NO.	LOT 22 DP758468	DRAWING SCALE	DRAWN BY
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						DRAWING IDENTIFICATION NUMBER	AMENDMENT ISSUE		
					STREET ADDRESS	11 MONTAGUE STREET, GOULBURN	A-14	A	

GENERAL LEGEND

- W- WINDOW NUMBER, REFER TO SCHEDULE.
- D- DOOR NUMBER, REFER TO SCHEDULE.

CONC: CONCRETE

CPT: SELECTED CARPET

CT: SELECTED CERAMIC TILES

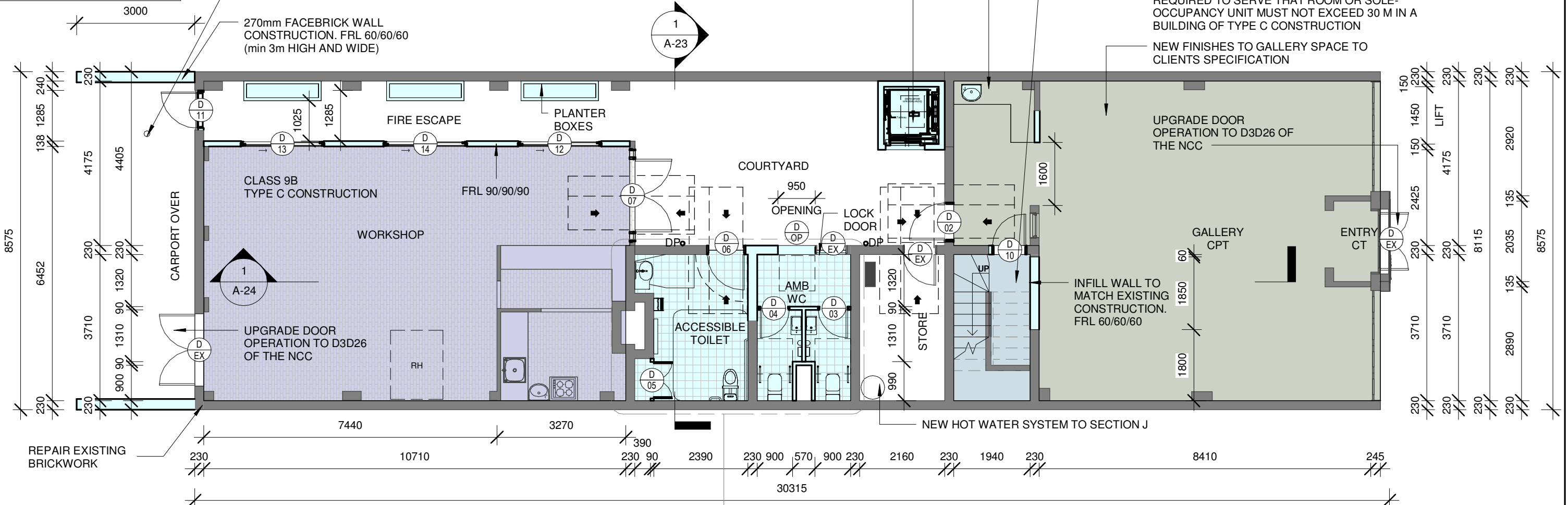
FT: SELECTED FLOOR TILES

900x900
CIRCULATION SPACE

NEW WORKS

EXISTING

READ IN CONJUNCTION WITH
SECTION J REPORT



1 PROPOSED GROUND FLOOR PLAN

1 : 100 @ A3

1

A-22

DRAWING AMENDMENTS

REVISION	DESCRIPTION	DATE
A	DEVELOPMENT APPLICATION	05/05/2025

PROJECT TITLE

ALTERATION AND ADDITION

CLIENT

DIANA KIRKPATRICK

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C

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residential commercial industrial

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ROSS PLACE
GOULBURN NSW
2580

NOMINATED ARCHITECT:
TIM LEE
NSW REG: 7304
ACT REG: 1030

DRAWING TITLE

PROPOSED GROUND FLOOR PLAN

LOT AND DEPOSITED PLAN NO.

LOT 22 DP758468

STREET ADDRESS

11 MONTAGUE STREET, GOULBURN

ISSUED FOR
DEVELOPMENT APPLICATION
NOT FOR CONSTRUCTION

DRAWING COMMENCED

OCT 24

DRAWING SCALE

1 : 100

AT SHEET SIZE

A3 SHEET

DRAWING IDENTIFICATION NUMBER

A-15

DRAWING VERIFIED BY

T.L.

DRAWN BY

JT

JOB NUMBER

0724-1703

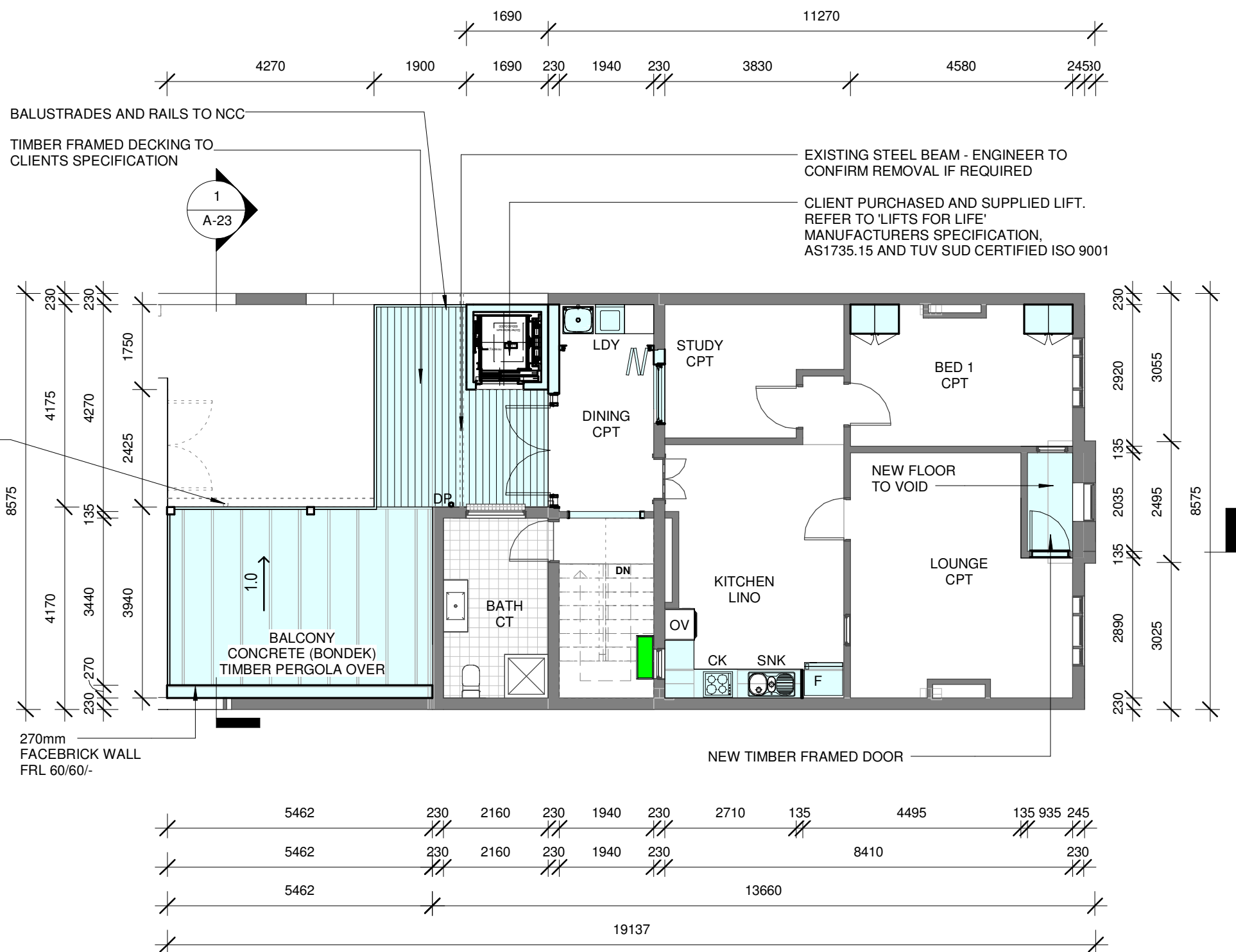
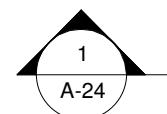
AMENDMENT ISSUE

A

GENERAL LEGEND

- W- WINDOW NUMBER, REFER TO SCHEDULE.
- D- DOOR NUMBER, REFER TO SCHEDULE.
- CONC: CONCRETE
- CPT: SELECTED CARPET
- CT:SELECTED CERAMIC TILES
- FT: SELECTED FLOOR TILES
- 900x900 CIRCULATION SPACE
- NEW WORKS
- EXISTING
- READ IN CONJUNCTION WITH SECTION J REPORT

GUTTER AND DOWNPIPES FOR SLAB AND ROOF ABOVE, REFER TO HYDRAULIC ENGINEERS SPECIFICATION



1 PROPOSED FIRST FLOOR PLAN
1 : 100 @ A3

LEGEND

D EX	DOOR NUMBER, REFER TO SCHEDULE
WEX	WINDOW NUMBER, REFER TO SCHEDULE
A WN	HIGHLIGHT WINDOW NUMBER, REFER TO SCHEDULE
DP	DOWNPIPES, SPACED MAX. 12m APART
	DOWNPIPES WITH SPREADER
TIMB	TIMBER FLOORING
CPT	CARPET INCLUDING ALL TRIMS & EDGING STRIPS
CT	NON-SLIP FLOOR TILES, MIN R11/P4 SLIP RATING, FULLY VITRIFIED, GUARANTEED 10 YEARS
CONC	CONCRETE, NON-SLIP HONED FINISH
BR. CONC	CONCRETE, NON-SLIP BRUSHED FINISH
RH	RANGEHOOD OVER COOK TOP
	COOK TOP, REFER TO BASIX
	DISHWASHER, CONNECT TO SINK DRAIN
OHC	OVERHEAD CUPBOARDS
MV	MECHANICAL VENTILATION, CEILING OR WALL MOUNTED EXHAUST
S	CEILING MOUNTED HARD WIRED SMOKE ALARMS INSTALLED TO MEET AS 3786
HWS	SEMI RECESSED INSTANT GAS HOT WATER UNIT
MB	METER BOX & NBN CONNECTION POINT
GM	GAS METER
DB	INTERNAL DISTRIBUTION BOARD
	WET AREA



ISSUED FOR
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DRAWING AMENDMENTS			PROJECT TITLE	<div>ALTERATION AND ADDITION</div> <div>CLIENT</div> <div>DIANA KIRKPATRICK</div> <div>Figured dimensions take precedence. Do not scale drawings. Builder to check all levels datum and dimensions on the job, conflicting information to be resolved by the project manager prior to commencing work. All materials and workmanship to be in restrict accordance with current Australian standards, BCA, Local regulation and manufacturers current printed instructions. Unless noted otherwise use only best quality materials, fittings and fixtures. COPYRIGHT TIM LEE ARCHITECTS Drawings subject to copyright and may not be reproduced in any form without the written permission of the architect.</div> <div>C</div>	DRAWING TITLE	PROPOSED FIRST FLOOR PLAN	DRAWING COMMENCED	DRAWING VERIFIED BY
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A	DEVELOPMENT APPLICATION	05/05/2025	DIANA KIRKPATRICK		LOT AND DEPOSITED PLAN NO.	LOT 22 DP758468	1 : 100	JT
							AT SHEET SIZE	JOB NUMBER
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ABN: 71425067537
ROSS PLACE
GOULBURN NSW 2580
NOMINATED ARCHITECT:
TIM LEE
NSW REG: 7304
ACT REG: 1030

GENERAL LEGEND

NEW WORKS

EXISTING

ALL LEVELS ARE BASED ON SUPPLIED 3RD PARTY SURVEY INFORMATION. TIM LEE ARCHITECTS ACCEPTS NO RESPONSIBILITY FOR THE ACCURACY OF SUPPLIED SITE INFORMATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM ALL LEVELS ONSITE PRIOR TO COMMENCING ANY EXCAVATION OR SITE WORK. TIM LEE ARCHITECTS TO BE NOTIFIED OF ANY ANOMALIES PRIOR TO THE CONTRACTOR STARTING ANY WORKS.

CONTRACTOR TO "DIAL BEFORE YOU DIG" BEFORE ANY WORKS ARE CARRIED OUT.

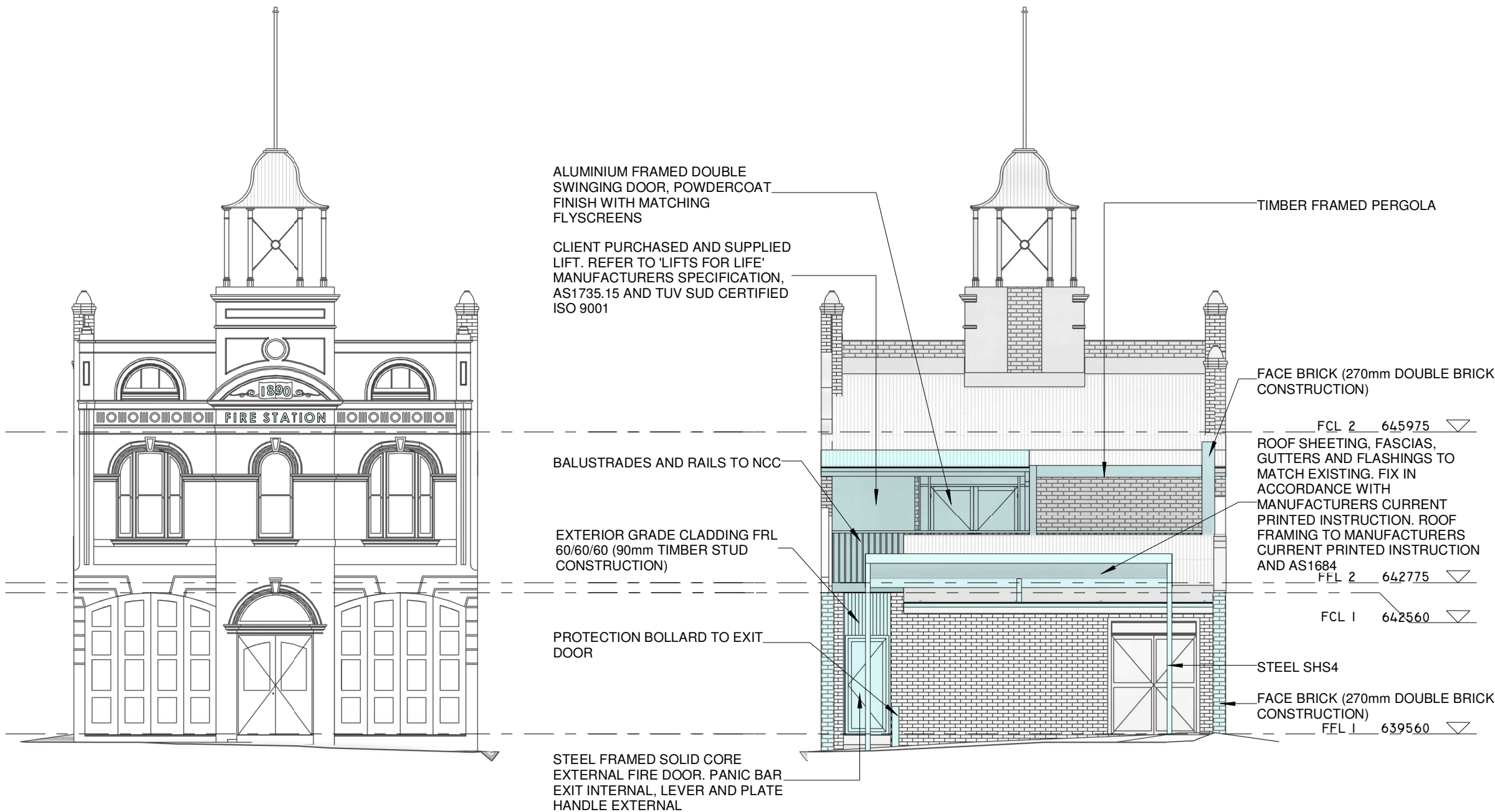
NOTE : SITE INFORMATION HAS BEEN ASSUMED, FINAL SET OUT, SITE LEVELS, CONTOURS, FLOOR LEVELS, ETC, TO BE CONFIRMED ONSITE BY SURVEYOR PRIOR TO COMMENCING WORKS.

NOTES:

- REGISTERED SURVEYOR TO ESTABLISH BOUNDARY & SET OUT BUILDING IN STRICT ACCORDANCE WITH THIS DOCUMENTATION SET. ALL DIMENSIONS SUBJECT TO SITE SURVEY.
- SUPPLY & INSTALL ALL NECESSARY FITTINGS & FIXTURES IN STRICT ACCORDANCE WITH MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.
- ALL FLOOR LEVELS & GROUND LEVELS ARE ASSUMED & ARE TO BE CONFIRMED ONSITE, PRIOR TO COMMENCING ANY WORKS.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND SUB-CONTRACTORS TO MAKE THEMSELVES FULLY AWARE OF CONDITIONS WHICH WILL AFFECT THE EXECUTION OF THE WORKS.
- THE CONTRACTOR IS TO ENSURE COMPLETE COMPLIANCE WITH ALL RELEVANT NCC CODES, AUSTRALIAN STANDARDS AND LOCAL REGULATIONS AND BY-LAWS AS REQUIRED.
- ALL MATERIALS & WORKMANSHIP ARE TO BE IN STRICT ACCORDANCE WITH THE MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.
- ALL MATERIALS & WORKMANSHIP ARE TO BE OF BEST QUALITY UNDERTAKEN BY FULLY QUALIFIED TRADESMEN. ALL MATERIALS TO BE SUPPLIED NEW. ALL DAMAGED MATERIALS TO BE REJECTED AND REPLACED WITH NEW.
- THE CONTRACTOR IS TO NOTIFY THE PROJECT MANAGER OF ANY ERRORS OR OMISSIONS IN THE DOCUMENTATION PRIOR TO COMMENCING WORK. THE PROJECT MANAGER TO CONTACT THE APPROPRIATE CONSULTANT FOR ADVICE PRIOR TO COMMENCING THE WORKS.
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- TIM LEE ARCHITECTS ACCEPTS NO RESPONSIBILITY OR INDEMNITY FOR CONDITIONS, LATENT OR OTHERWISE, ARISING WITHOUT NOTIFICATION PRIOR TO COMMENCING THE WORKS.
- ALL WORK TO BE CARRIED OUT COMPETENT, SKILLED & QUALIFIED TRADESPEOPLE HOLDING CURRENT CERTIFICATION WITH THE REQUIRED AUTHORITY.
- PROVIDE ALL MATERIALS, LABOUR & EQUIPMENT NECESSARY TO COMPLETE THE WORK AS PER THE DRAWING SET & ASSOCIATED DOCUMENTATION.
- GRADE FINISHED GROUND LINE TO GIVE FALLS AWAY FROM BUILDINGS.

ISSUED FOR

DEVELOPMENT APPLICATION
NOT FOR CONSTRUCTION



1

PROPOSED NORTH ELEVATION

1 : 100 @ A3

2

PROPOSED SOUTH ELEVATION

1 : 100 @ A3

DRAWING AMENDMENTS

REVISION	DESCRIPTION	DATE
A	DEVELOPMENT APPLICATION	05/05/2025

PROJECT TITLE

ALTERATION AND ADDITION

CLIENT

DIANA KIRKPATRICK

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C

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residential commercial industrial

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ROSS PLACE
GOULBURN NSW
2580

NOMINATED ARCHITECT:
TIM LEE
NSW REG: 7304
ACT REG: 1030

DRAWING TITLE

PROPOSED ELEVATIONS

LOT AND DEPOSITED PLAN NO.

LOT 22 DP758468

STREET ADDRESS

11 MONTAGUE STREET, GOULBURN

DRAWING COMMENCED

OCT 24

DRAWING SCALE

1 : 100

AT SHEET SIZE

A3 SHEET

DRAWING IDENTIFICATION NUMBER

A-17

DRAWING VERIFIED BY

T.L.

DRAWN BY

JT

JOB NUMBER

0724-1703

AMENDMENT ISSUE

A

GENERAL LEGEND

NEW WORKS

EXISTING

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CONTRACTOR TO "DIAL BEFORE YOU DIG" BEFORE ANY WORKS ARE CARRIED OUT.

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FACE BRICK (270mm DOUBLE BRICK CONSTRUCTION)

STEEL SHS4

FCL 2 645975

FFL 2 642775

FCL 1 642560

FFL 1 639560

1

PROPOSED EAST ELEVATION

1 : 200 @ A3

CLIENT PURCHASED AND SUPPLIED LIFT. REFER TO 'LIFTS FOR LIFE' MANUFACTURERS SPECIFICATION, AS1735.15 AND TUV SUD CERTIFIED ISO 9001

90mmØ UPVC DOWNPIPE, PAINT FINISH

FACE BRICK (270mm DOUBLE BRICK CONSTRUCTION)

TIMBER FRAMED PERGOLA

FACE BRICK (270mm DOUBLE BRICK CONSTRUCTION)

STEEL SHS4

FCL 2 645975

FFL 2 642775

FCL 1 642560

FFL 1 639560

2

PROPOSED WEST ELEVATION

1 : 200 @ A3

BALUSTRADES AND RAILS TO NCC

TIMBER FRAMED DECKING TO CLIENTS SPECIFICATION

5470

FRL 60/60/- WALL

3000

5.00°

3500

3000

2550

⊕

DRAWING AMENDMENTS

REVISION
A

DESCRIPTION
DEVELOPMENT APPLICATION

DATE
05/05/2025

PROJECT TITLE

ALTERATION AND ADDITION

CLIENT

DIANA KIRKPATRICK

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NOMINATED ARCHITECT:
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NSW REG: 7304
ACT REG: 1030

DRAWING TITLE

PROPOSED ELEVATIONS

LOT AND DEPOSITED PLAN NO.

LOT 22 DP758468

STREET ADDRESS

11 MONTAGUE STREET, GOULBURN

DRAWING COMMENCED

OCT 24

DRAWING SCALE

As indicated

AT SHEET SIZE

A3 SHEET

DRAWING IDENTIFICATION NUMBER

A-18

DRAWING VERIFIED BY

T.L.

DRAWN BY

JT

JOB NUMBER

0724-1703

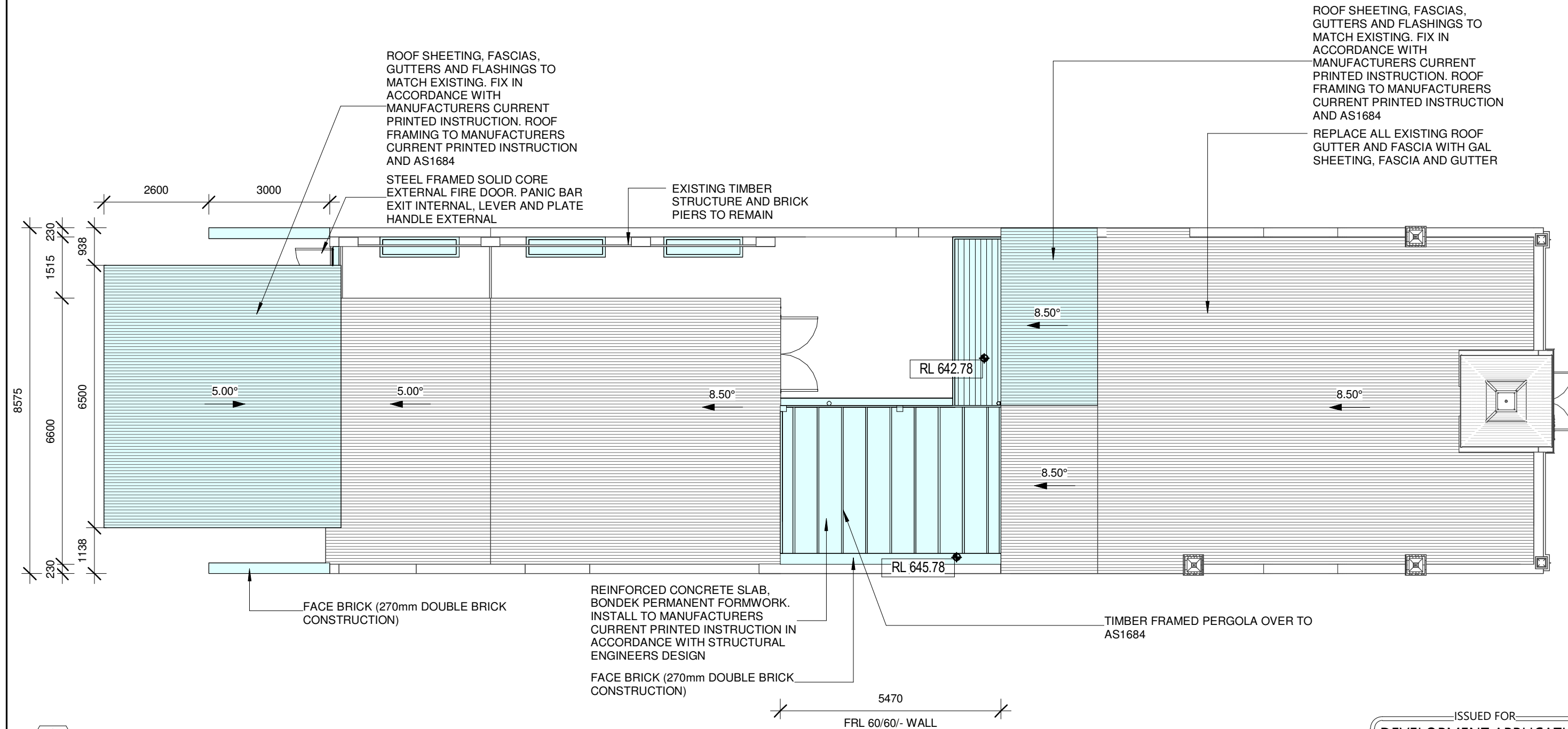
AMENDMENT ISSUE

A

GENERAL LEGEND

NEW WORKS

EXISTING

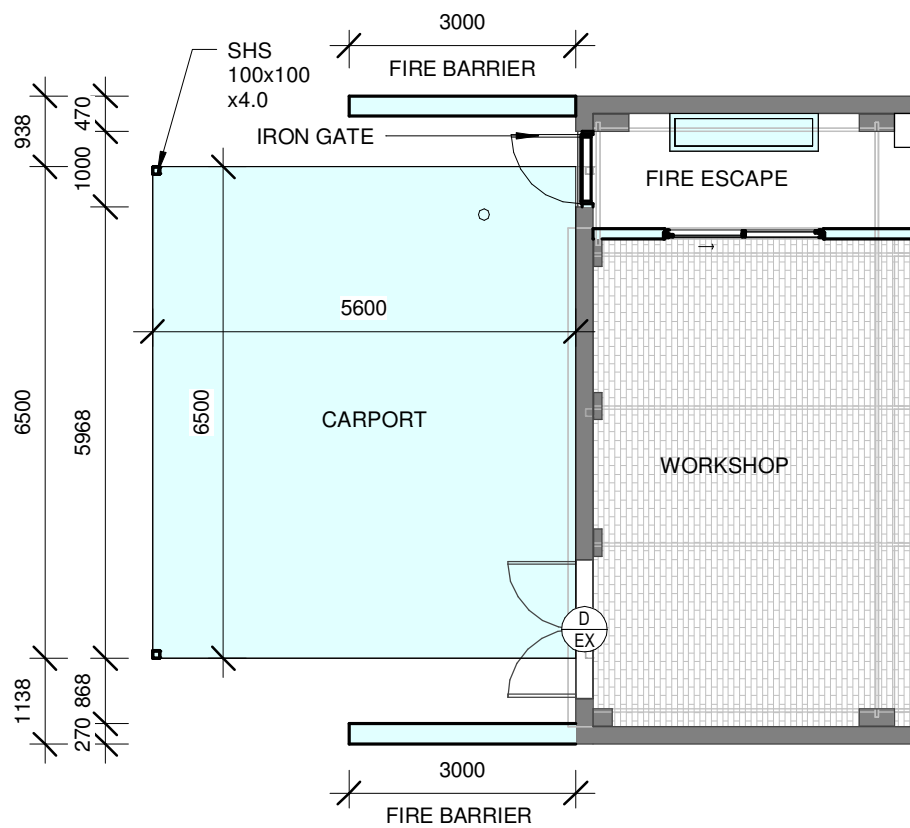


1 PROPOSED ROOF PLAN
1 : 100 @ A3

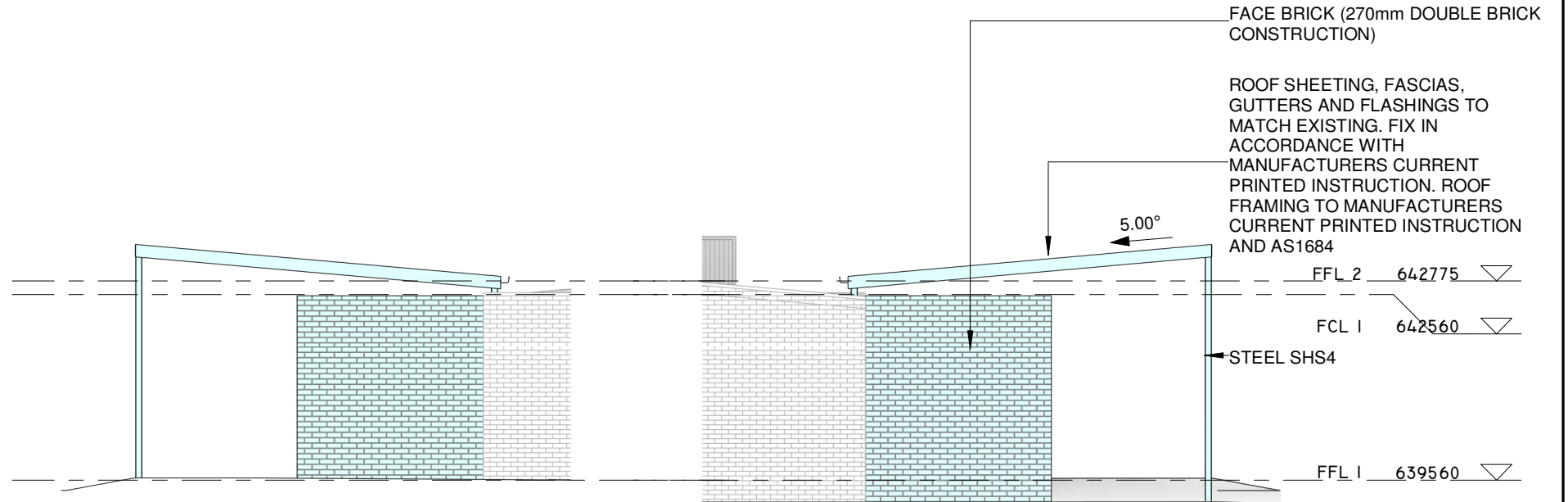
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REVISION	DESCRIPTION	DATE	ALTERATION AND ADDITION		PROPOSED ROOF PLAN	OCT 24	T.L.
A	DEVELOPMENT APPLICATION	05/05/2025	CLIENT		LOT AND DEPOSITED PLAN NO.	DRAWING SCALE	DRAWN BY
			DIANA KIRKPATRICK		LOT 22 DP758468	1 : 100	JT
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						DRAWING IDENTIFICATION NUMBER	AMENDMENT ISSUE
						A-19	A

BERGMARK STREET

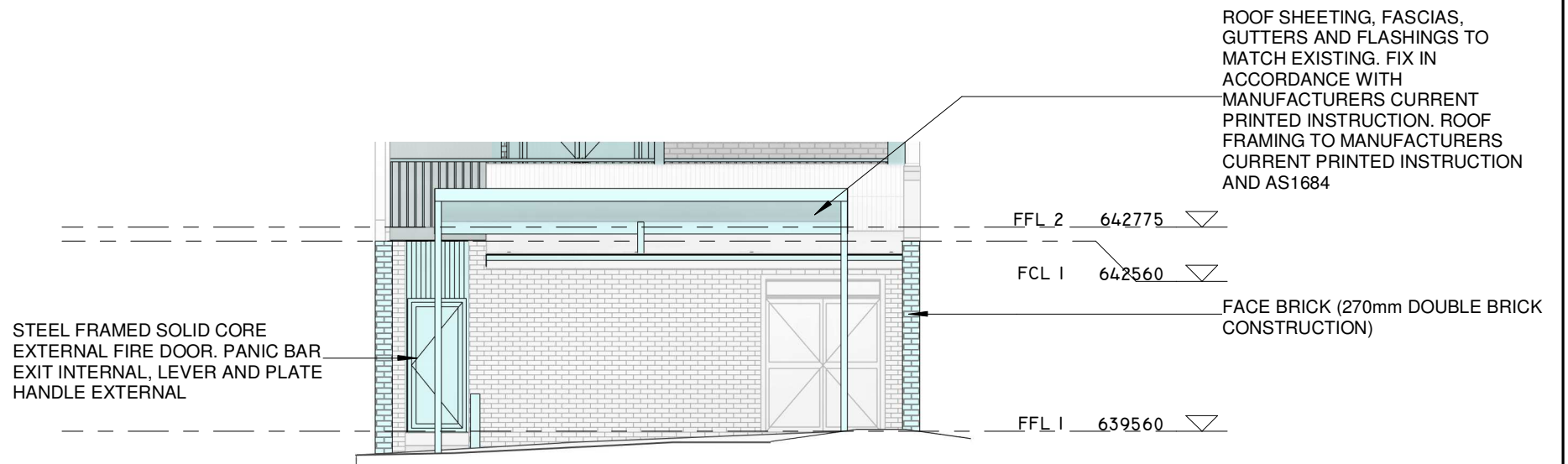


1 PROPOSED CARPORT PLAN
1 : 100 @ A3



2 PROPOSED CARPORT EAST ELEVATION
1 : 100 @ A3

3 PROPOSED CARPORT WEST ELEVATION
1 : 100 @ A3



4 PROPOSED CARPORT SOUTH ELEVATION
1 : 100 @ A3

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DRAWING AMENDMENTS			PROJECT TITLE	<div><div><div><div></div><div></div></div><div>TIM LEE ARCHITECTS</div><div>residential commercial industrial</div><div>P: 02 4822 5934</div><div>ABN: 71425067537</div><div>ROSS PLACE</div><div>GOULBURN NSW 2580</div><div>NOMINATED ARCHITECT: TIM LEE</div><div>NSW REG: 7304</div><div>ACT REG: 1030</div></div><div><div></div><div></div></div></div>	DRAWING TITLE	DRAWING COMMENCED	DRAWING VERIFIED BY
REVISION	DESCRIPTION	DATE	ALTERATION AND ADDITION		PROPOSED CARPORT PLAN	OCT 24	T.L.
A	DEVELOPMENT APPLICATION	05/05/2025	CLIENT		LOT AND DEPOSITED PLAN NO.	DRAWING SCALE	DRAWN BY
			DIANA KIRKPATRICK		LOT 22 DP758468	1 : 100	JT
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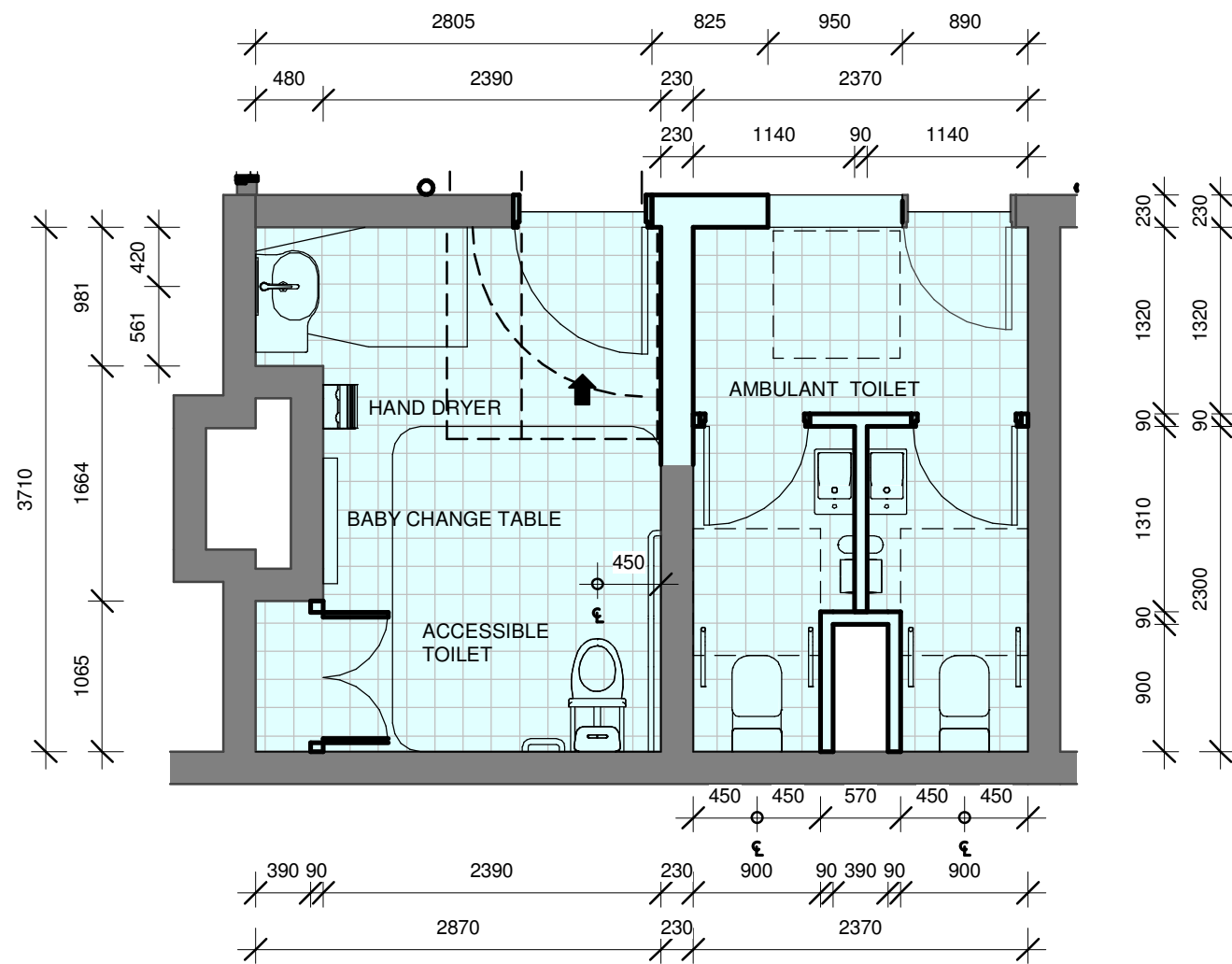
DOOR SCHEDULE						WINDOW SCHEDULE					
DOOR NO.	DOOR TYPE	HEIGHT	WIDTH	SILL HEIGHT	HEAD HEIGHT	WINDOW NO.	WINDOW TYPE	HEIGHT	WIDTH	SILL HEIGHT	HEAD HEIGHT
02	EXTERIOR GRADE TIMBER FRAMED SOLID CORE SWINGING DOOR	2100	920	0	2100	01	ALUMINIUM FRAMED WINDOW, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	1800	1210	900	2700
03	TIMBER FRAMED, HOLLOW CORE SWINGING DOOR	2100	720	0	2100						
04	TIMBER FRAMED, HOLLOW CORE SWINGING DOOR	2100	720	0	2100						
05	TIMBER FRAMED, HOLLOW CORE DOUBLE SWINGING DOOR	2040	920	0	2040						
06	EXTERIOR GRADE TIMBER FRAMED SOLID CORE SWINGING DOOR	2100	920	0	2100						
07	ALUMINIUM FRAMED DOUBLE SWINGING DOOR, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	2100	1938	0	2100						
08	TIMBER FEATURE ENTRY DOOR	2100	820	0	2100						
09	ALUMINIUM FRAMED BI-FOLD DOOR, POWDERCOAT FINISH	2100	1800	0	2100						
10	TIMBER FRAMED, HOLLOW CORE SWINGING DOOR	2100	820	0	2100						
11	STEEL FRAMED SOLID CORE EXTERNAL FIRE DOOR. PANIC BAR EXIT INTERNAL, LEVELER AND PLATE HANDLE EXTERNAL	2100	920	0	2100						
12	ALUMINIUM FRAMED SLIDING DOOR, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	2100	2100	0	2100						
13	ALUMINIUM FRAMED SLIDING DOOR, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	2100	2100	0	2100						
14	ALUMINIUM FRAMED SLIDING DOOR, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	2100	2100	0	2100						
15	ALUMINIUM FRAMED DOUBLE SWINGING DOOR, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	2100	1938	0	2100						
op kit		0	0	0	0						

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REVISION	DESCRIPTION	DATE	CLIENT		LOT AND DEPOSITED PLAN NO.	LOT 22 DP758468	DRAWING SCALE	DRAWN BY
A	DEVELOPMENT APPLICATION	05/05/2025	DIANA KIRKPATRICK		STREET ADDRESS	11 MONTAGUE STREET, GOULBURN	A3 SHEET	0724-1703
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							A-21	A



1 DETAIL WET AREA FLOOR PLAN & ELEVATIONS
1 : 50 @ A3

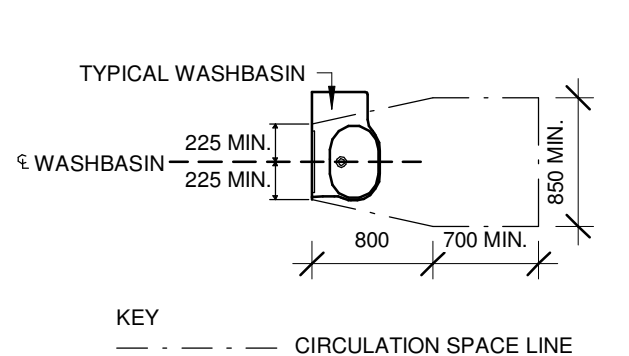
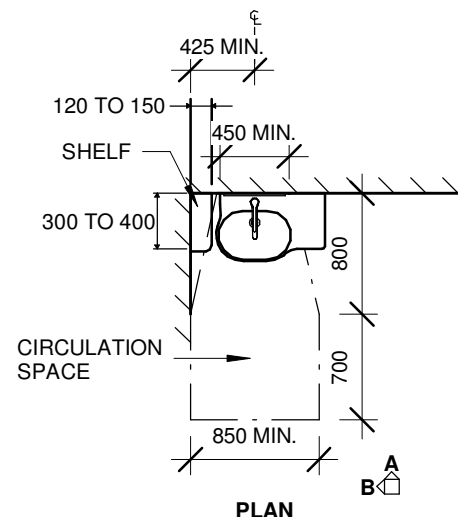
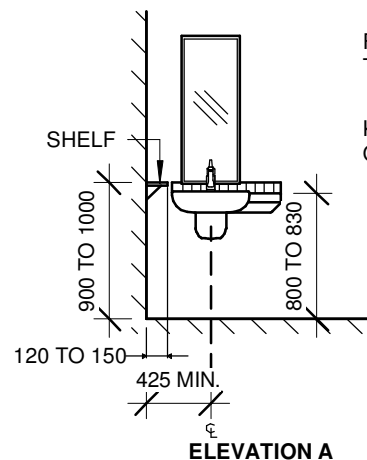


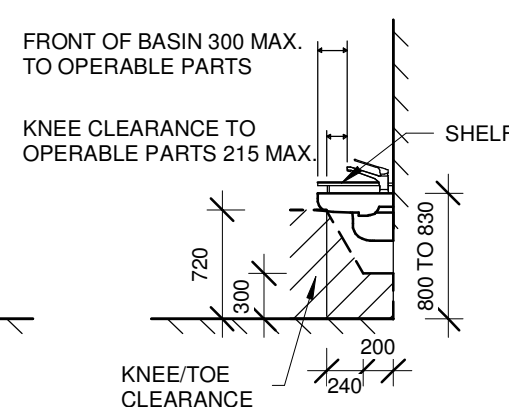
FIGURE 46 - CIRCULATION SPACE FOR WASHBASINS



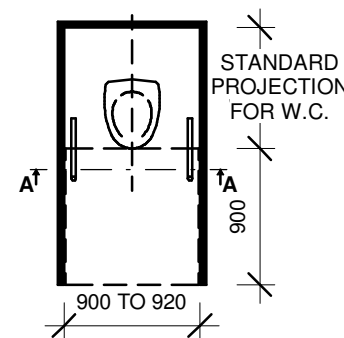
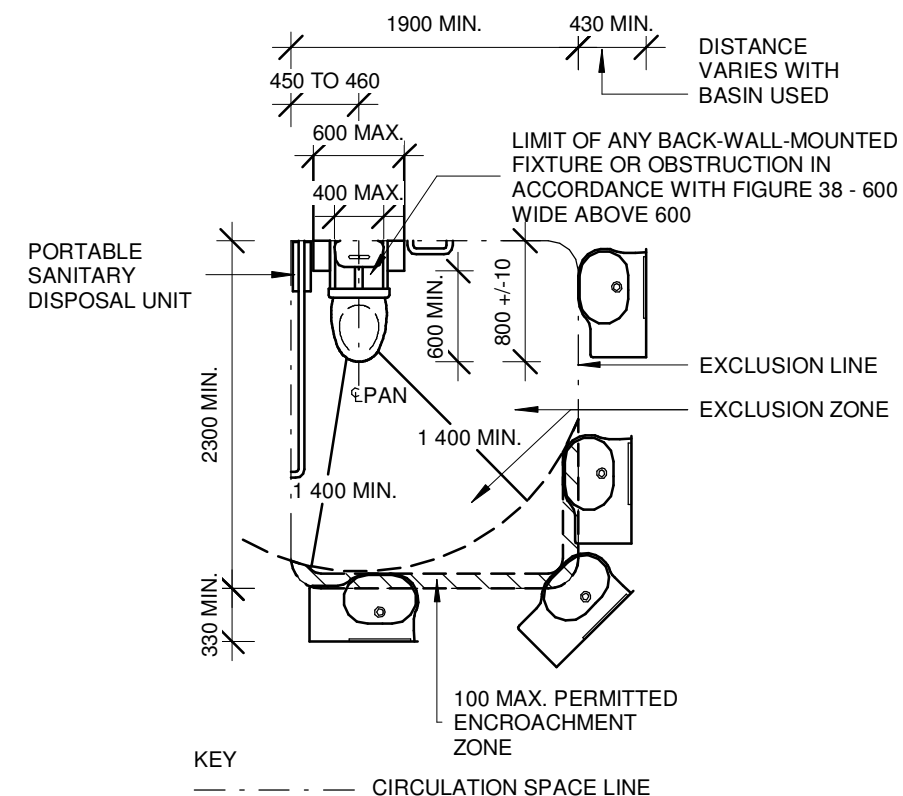
PLAN



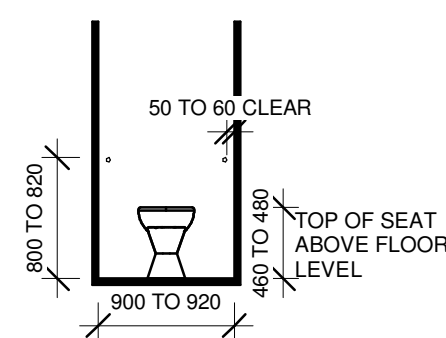
ELEVATION A



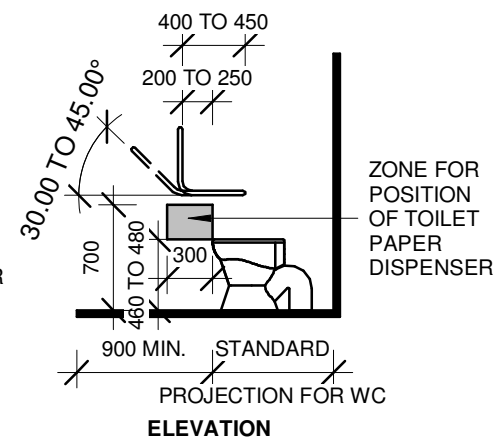
ELEVATION B



PLAN



SECTION AA



ELEVATION

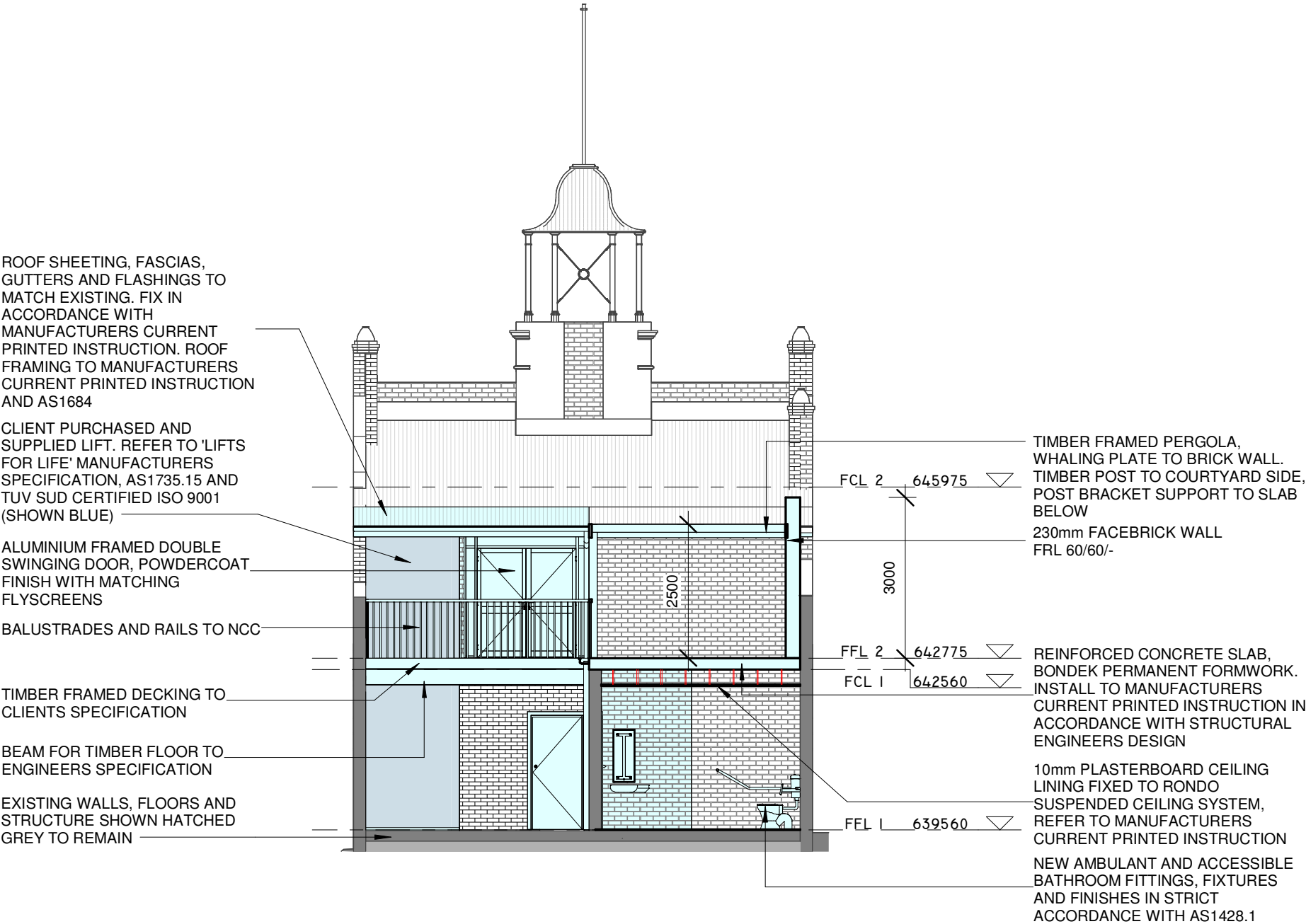
FIGURE 52(A) - SANITARY COMPARTMENT FOR PEOPLE WITH AMBULANT DISABILITIES



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REVISION	DESCRIPTION	DATE	CLIENT		LOT AND DEPOSITED PLAN NO.	DRAWING SCALE	DRAWN BY	
A	DEVELOPMENT APPLICATION	05/05/2025	DIANA KIRKPATRICK		LOT 22 DP758468	1 : 50	AH	
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1 SECTION A-A
1 : 100 @ A3



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			DIANA KIRKPATRICK		LOT 22 DP758468	1 : 100	Author
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						A-23	A

GENERAL NOTES:

PROVIDE TERMITE CONTROL TO ALL AREAS AS REQUIRED BY PART B OF THE BCA, AS 3660.1 & 3660.2.

INSTALL HARD WIRED SMOKE ALARMS TO AS 3786 ADJACENT TO SLEEPING AREAS AS DIRECTED ONSITE.

ALL WALLS TO BE FULLY SARKED, CSR BRADFORD WALLWRAP XP OR EQUAL.

RANGE HOODS EXHAUST SYSTEMS TO HAVE A MINIMUM FLOW RATE OF 40L/s.

EXHAUSTS FROM BATHROOMS & LAUNDRY MUST BE DISCHARGED DIRECTLY OR VIA A SHAFT OR DUCT TO OUTSIDE AIR. MECHANICAL VENTILATION & LIGHTING TO MEET PART F4 OF THE BCA. INSTALL TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.

CONNECT ALL NEW DOWNPIPES TO NEW WATER TANKS, OVERFLOW TO STORMWATER SYSTEM.

CONNECT ALL NEW DOWNPIPES TO NEW WATER TANKS, OVERFLOW TO STORMWATER SYSTEM.

EXTERNAL STAIRS

NON-SLIP PRECAST STEPS TO BE 75mm THICK. ALL STEPS TO HAVE NON-SLIP GROOVES TO THE FRONT EDGE. ALL STEPS TO BE IN ONE PIECE FOR ITS FULL LENGTH. STAIR RISE AND GOING TO COMPLY WITH BCA D2.13 - 2R+G : GREATER THAN 550mm LESS THAN 700mm. ALL STAIR RISERS TO BE EQUAL AND COMPLY WITH BCA D2.13 - MIN. 115mm AND MAX. 190mm. MAXIMUM VARIANCE ACROSS THE STAIR LENGTH ±2mm. ALL STAIR GOINGS TO BE EQUAL TO AND COMPLY WITH BCA D2.13 - MIN. 240mm (PRIVATE), MIN. 250mm (PUBLIC) AND MAX. 355mm.

CONCRETE SLABS & FOUNDATIONS

ALL SUB-GRADE & COMPACTED FILL BELOW SLAB TO APPROVAL USING APPROVED GRANULAR MATERIAL COMPACTED TO 98% OF STANDARD DRY DENSITY. ALL FOOTINGS DOWN TO SOLID FOUNDATIONS WITH MIN. 150KPa. OR A APPROVED BY ENGINEER SITE INSPECTION PRIOR TO CONCRETE POUR. - A JAS-ANZ ACCREDITED 3RD PARTY PROCESSOR CERTIFICATE (ACRS OR EQUIVALENT) MUST BE SUPPLIED WITH ALL STEEL REINFORCEMENT AT PROCUREMENT, BEFORE ANY CONCRETE IS PLACED, TO GUARANTEE CONFORMANCE OF THE REINFORCEMENT TO AS/NZS 4671.

MINIMUM BEARING PRESSURE 150KPa. ONO.

FILL & FILL COMPACTION TO ENGINEER'S DETAILS.

50mm SET DOWN FOR THRESHOLD AT ROLLER DOOR OPENING.

50mm SET DOWN FOR WET AREAS.

FRAMING

TIMBER FRAME BRACING, TIE-DOWNS & JOINT SCHEDULE TO BE DESIGNED & CERTIFIED BY THE FRAME FABRICATOR IN ACCORDANCE WITH AS1684 (NATIONAL TIMBER FRAMING CODE).

CEILINGS

10mm PLASTERBOARD CEILING LINING SCREW FIXED TO 'RONDO' CEILING BATTENS AT 450cts. 'RONDO' CEILING BATTENS NAILED TO UNDERSIDE OF TRUSSES OR JOISTS. INSTALL AL FITTINGS & FIXTURES TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS. 90mm STANDARD PROFILE PLASTERBOARD CORNICE.

WALLS

INTERNAL WALLS GENERALLY TO BE 10mm PLASTERBOARD OVER 90x45 (LOADBEARING WALL) OR 90x35 (NON LOADBEARING WALLS) MGP10 F5 STUD AT 450cts. USE 6mm VILLABOARD TO WET AREAS.

EXTERIOR WALLS - MASONRY

WEEPHOLES TO EVERY THIRD PERPEND. SUPER ALCOR DCP OVER WEEPHOLES.

FORM 12mm EJ TO EACH BRICK SKIN WITH 50mm ABELFLEX STRIP. FILL JOINT WITH POLYETHYLENE FOAM BACKING ROD & SEAL WITH COLOURED MASTIC. EJ AT MAX. 9m cts UNLESS OTHERWISE SPECIFIED. SLIP JOINT BETWEEN CONCRETE SLAB & SUPPORTING MASONRY WALLS. CLEAR ALL PERPENDS TO LOWEST COURSE.

EXTERIOR WALLS - CLADDING

SELECTED EXTERIOR GRADE CLADDING OVER ENVIROSEAL OR BRADFORD WALLWRAP XP (BAL RATED). FIX INTERNAL LINING OVER INSULATION (REFER TO BASIX / NATHERS REQUIREMENTS) & SISALATION. SELECTED COLOUR EXTERIOR PAINT TO A LEVEL 4 PAINT FINISH. INSTALL TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.

ROOF

SELECTED PROFILED SHEET STEEL ROOFING (COLORBOND FINISH), COLORBOND FASCIAS, GUTTERS & FLASHINGS. FIX IN ACCORDANCE WITH MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS. ROOF FRAMING & ROOF BATTENS TO AS1684.

WET AREAS

WET AREAS SHOWN HATCHED, LAY SELECTED NON-SLIP CERAMIC TILES TO EQUAL R11 / P4 ON MORTAR BED GRADED TO GIVE FALLS TO FW'S AS SHOWN. AREAS TO BE TREATED IN ACCORDANCE WITH AUSTRALIAN STANDARDS AS 3740 WATERPROOFING OF WET AREAS WITHIN RESIDENTIAL BUILDINGS.

THE WATERPROOFING SYSTEM TO BE APPROPRIATE FOR THE BASE CONSTRUCTION. DO NOT WATERPROOF OVER PARTICLE BOARD OR TIMBER FLOORING.

PROVIDE EVIDENCE OF MANUFACTURER'S PRODUCT INSTALLATION DATA SHEETS & REQUIREMENTS.

INSTALL ALL PRODUCTS TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.

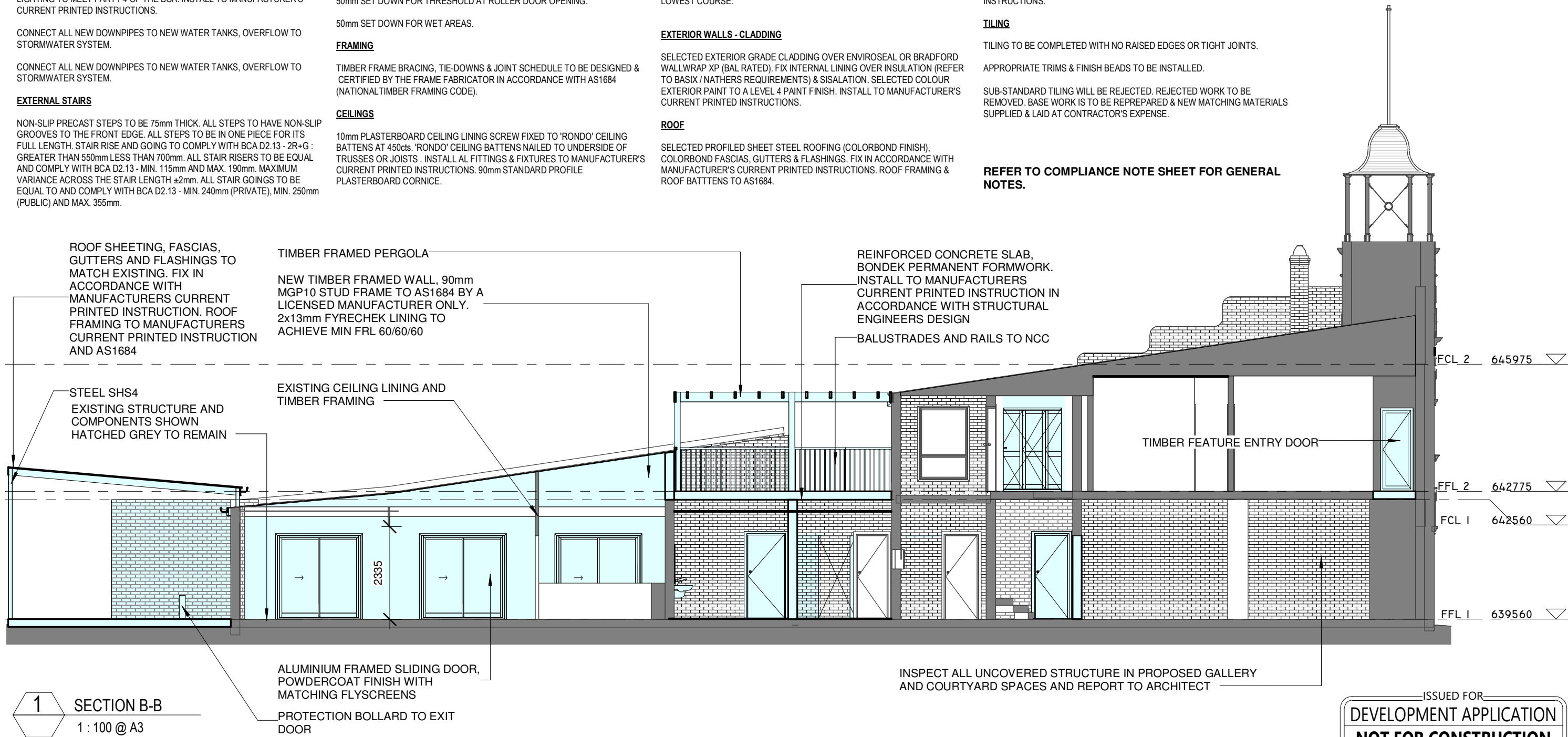
TILING

TILING TO BE COMPLETED WITH NO RAISED EDGES OR TIGHT JOINTS.

APPROPRIATE TRIMS & FINISH BEADS TO BE INSTALLED.

SUB-STANDARD TILING WILL BE REJECTED. REJECTED WORK TO BE REMOVED. BASE WORK IS TO BE REPREPARED & NEW MATCHING MATERIALS SUPPLIED & LAID AT CONTRACTOR'S EXPENSE.

REFER TO COMPLIANCE NOTE SHEET FOR GENERAL NOTES.



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REVISION	DESCRIPTION	DATE	CLIENT		LOT AND DEPOSITED PLAN NO.		OCT 24	TL
A	DEVELOPMENT APPLICATION	05/05/2025	DIANA KIRKPATRICK		LOT 22 DP758468			
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						11 MONTAGUE STREET, GOULBURN	DRAWING SCALE	DRAWN BY
							1 : 100	AH
							AT SHEET SIZE	JOB NUMBER
							A3 SHEET	0724-1703
						DRAWING IDENTIFICATION NUMBER	AMENDMENT ISSUE	
						A-24	A	